

RICHMOND CONSERVATION STUDY



VOLUME 1





CITY OF RICHMOND

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Refer:

THE RICHMOND URBAN CONSERVATION STUDY

The completion of this Conservation Study hereby represents a significant milestone for Richmond. I commend it to you and endorse its recommendations in principle.

I use the term "in principle" because the Conservation Study is just one part of an overall strategy plan being proposed for Richmond. This means that conservation controls will be considered in the wider context of other matters just as economic development, housing, traffic management and the like. There will inevitably be conflicting objectives and these must be reconciled by Council, in due course, after extensive public consultation.

It seems that controls over the preservation of our built heritage are almost always "too late", no matter when they are introduced. Nevertheless, I believe we have done the best job within the available resources and that the release of the Study is timely, given the increasing pressure for large scale redevelopment that Richmond is experiencing.

Council is grateful to the National Estates Committee, the Historic Buildings Council and the Melbourne and Metropolitan Board of Works in providing funding for the Study. Undoubtedly credit is due to the consultants who have done a superb job and to our Urban Conservation Advisory Committee for guidance and overall direction.

I look forward to the implementation of the Study and its impact on Richmond.

COMMISSIONER A. G. GILLON, O.B.E., J.P.

RICHMOND CONSERVATION STUDY

UNDERTAKEN FOR THE CITY OF RICHMOND,
THE AUSTRALIAN HERITAGE COMMISSION,
AND THE MINISTRY FOR PLANNING AND ENVIRONMENT.

VOLUME 1

INTRODUCTION
BACKGROUND HISTORY
RECOMMENDATIONS
GUIDELINES
APPENDICES

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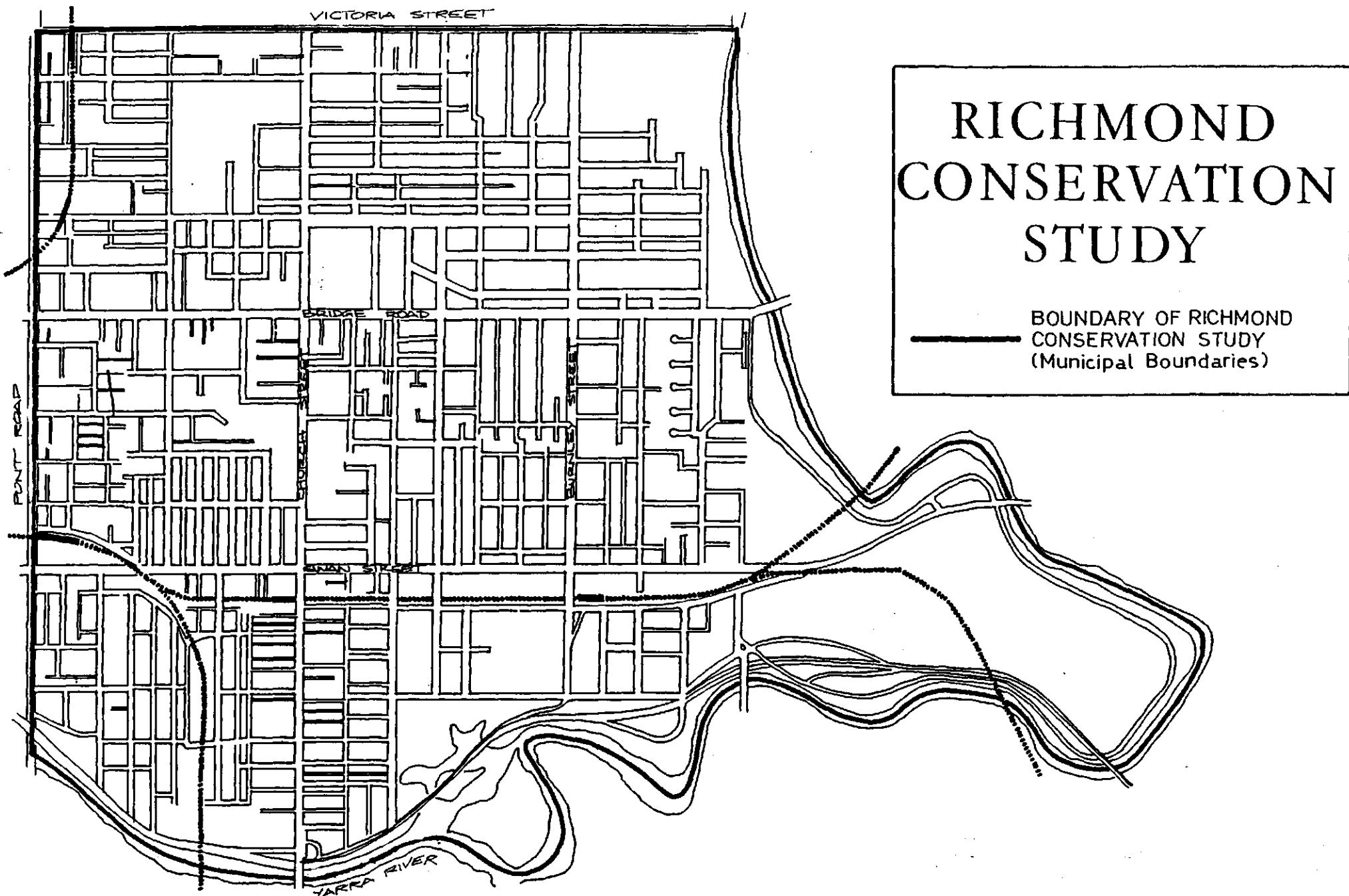


Fig.. 1.1 Boundary of Study Area

I.O INTRODUCTION

1.1 BACKGROUND OF STUDY

This study was commissioned by the City of Richmond and the Australian Heritage Commission and has been jointly funded by the Victorian National Estate Committee, the City of Richmond the Historic Buildings Council and the Melbourne and Metropolitan Board of Works.

1.2 THE STUDY AREA

The study area is the whole of the City of Richmond. See Fig. 1.1.

1.3 STUDY PERIOD

This study covers the period from the first land sales in Richmond in 1839 up to the Second World War in 1939. This cut-off date was selected because of a widespread change in fashion and the consequent change in the way buildings looked. This is particularly evident not only in new buildings but in the wholesale defacement of older buildings in an attempt to 'modernise' or 'improve' their appearance (Fig. 1.2).



Fig. 1.2

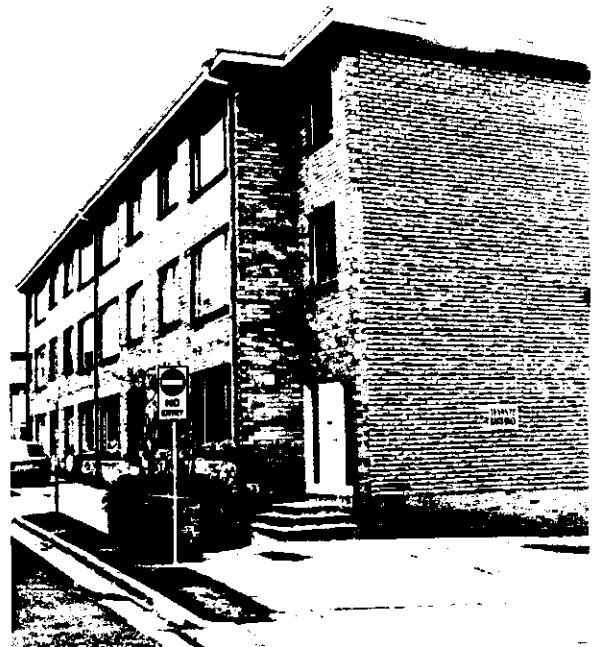


Fig. 1.3

The post war period also coincided with a rising demand for flats and cars which dramatically altered the type and character of new development (Fig. 1.3).

1.4 STATEMENT OF OBJECTIVES

The purpose of the study is, firstly, to provide essential identification, evaluation and research as a basis for recommendations to be incorporated in a planning scheme; and secondly to establish guidelines both for general use and to assist in the implementation of the recommended planning provisions.

The Brief outlined five major requirements:

1. To prepare a background history of Richmond with emphasis on the built form.
2. To identify and evaluate the buildings, works, objects, streetscapes and areas of historic or architectural interest within the study area.
3. To recommend the appropriate means of protecting the historic character of the study area including specific recommendations for the Historic Building Register, the Register of the National Estate and under the Third Schedule of the Town and Country Planning Act.
4. To develop guidelines for the conservation and enhancement of the identified areas, buildings, works and objects for use by planning staff and also for use as part of an education programme to encourage the conservation of Richmond's historic buildings and areas.
5. To frame the material in the report in such a way that it may be readily incorporated into any planning scheme formulated by the City of Richmond.

1.5 STUDY APPROACH

Every accessible building in the study area has been evaluated from the street including all building types such as houses, shops, offices and factories. Gardens, parks, fences, etc. have been similarly assessed.

Each contributory building, that is, each building of architectural and historic merit which contributes to the character of Richmond, has had an identification sheet prepared for it including a photograph, a grading, a description, a list of significant features, an integrity rating, specific guidelines for restoration and in some cases special comments and historic research. Five thousand buildings have been identified as contributory from a total of approximately ten thousand rateable units.

The grading system adopted by the Melbourne City Council has been used in the assessment process to maintain a relativity and consistency between this study and other conservation studies carried out in Melbourne's inner suburbs. See section 3.2 for a description of the grading system.

A, B and C building identification sheets have been included in this study in Volumes 2 and 3. Assessment Sheets for D buildings are held at the Council offices and can be inspected at the Town Planning Department.

Areas of significance have also been identified and summaries of these are included in Section 6, Volume 2.

1.6 CURRENT ASSESSMENTS

See Appendix 5.1 for an explanation of the roles of the different organizations and registers listed under this heading.

1.6.1 THE MELBOURNE METROPOLITAN PLANNING SCHEME.

The Vaucluse Area (fig. 1.4) is already included under Amendment 224 as an Urban Conservation Area and has existing conservation controls over demolition, external alterations, external decorations and the construction of new buildings and works.

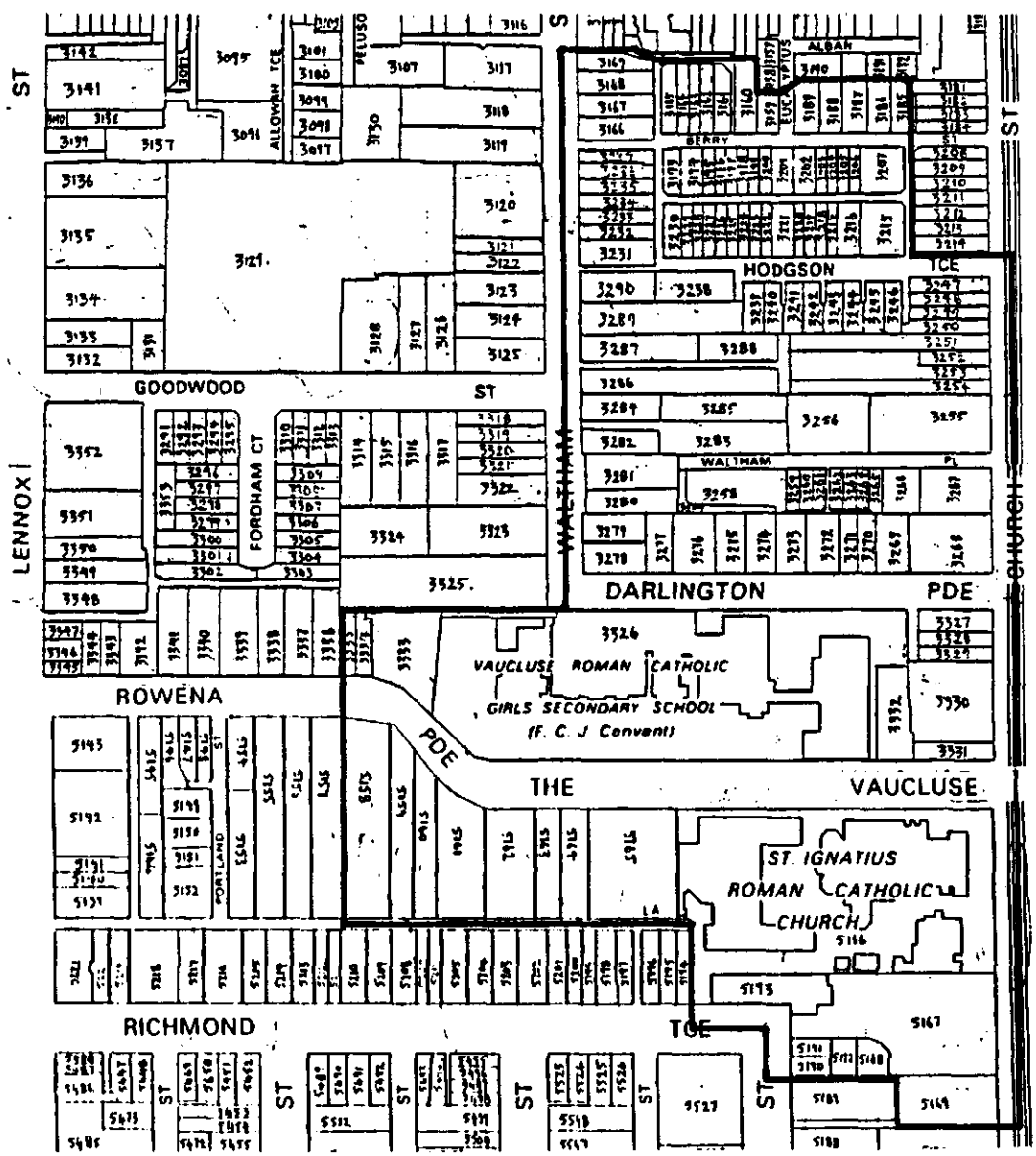


Fig. 1.4 The Vaucluse Urban Conservation Area under existing MMBW. Planning Scheme.

5.

1.6.2 THE HISTORIC BUILDINGS REGISTER currently includes only one building in Richmond. (Fig. 1.5).



Fig. 1.5 Former Lalor House (211), 293 Church Street.

1.6.3 THE GOVERNMENT BUILDINGS REGISTER currently includes the Richmond North Primary School (Fig. 1.6).



Fig. 1.6 Richmond North Primary School, Davison Street.

1.6.4. THE NATIONAL ESTATE REGISTER includes the following 15 buildings in Richmond.

BOWEN ST.

7 Residence R/01/03

CHURCH ST.

283 former Richmond Free Dispensary R/01/04 (demolished)

293 former Lalor Residence R/01/12

300 former Wesleyan Methodist Parsonage R/01/08 (2)

former Wesleyan Methodist Schoolhouse R/01/08 (3)

former Wesleyan Methodist Schoolhouse R/01/09 (4)

former Wesleyan Methodist Chapel R/01/08 (1)

St. Ignatius' Church R/01/11

360 St. Stephen's Church R/01/09

JAMES ST.

13, 15 semi-detached residences R/01/01

14 Residence R/01/02 (fig. 1.7)

LENNOX ST.

221 Orwell Cottage R/01/10

UNION ST.

12 Residence R/01/05

WALTHAM ST.

10 former Bedgood's Shoe Factory R/01/06

12-24 Terrace houses R/0/07

The Vaucluse Urban Conservation area is also on the Register of the National Estate.



Fig. 1.7 14 James Street.

1.6.5. THE NATIONAL TRUST OF AUSTRALIA (VIC) has the following 31 buildings classified (C) or Recorded (R) in Richmond.

BERRY ST.

18 Residence R3256

BOWEN ST.

7 Residence C3687

BRIDGE RD.

1 former Cable Tram Engine House R3892

231 National Bank R52

649 former Cable Tram Depot C4138

BURNLEY ST.

144 Residence R13488

CHURCH ST.

293 former Lalor House C1093

494 Richmond UFS Dispensary R22923

300 former Wesleyan Parsonage C2891

316 Hibernian Society Hall R518

St. Ignatius' C. 2025

360 St. Stephen's C. of E. C2155

360 Walker Organ C2155

DOCKER ST.

37 Howlands R4005

ELM GR.

3 Residence R2398

ERIN ST.

18 Glen Nevis R517

GLEADELL ST.

1 R 3996

JAMES ST.

13, 15 Semi-Detached Residences C3690

14 Residence C3688

LENNOX ST.

221 Orwell Cottage C1529

229 R 4003

LESNEY ST.

36 Residence C4966

ROTHERWOOD ST.

7 Residence R4009

SHERWOOD ST.

3 R 2503

STANLEY ST.

60 R 4006

SWAN ST.

250, 252 Shops R2158

240 M. Ball & Co. R1750

UNION ST.

12 Residence C3273

THE VAUCLUSE

10 The Tower R519

12, 14 Brinsley Place C3997

WALTHAM PLACE

10 former Bedgood's Shoe Factory C3254

12-24 Terrace Houses C3255



Fig. 1.8 36 Lesney Street

THE NATIONAL TRUST has also designated an Urban Conservation area on the Northern Side of Richmond Hill. (fig. 1.9)



Fig. 1.9 Berry Street, Hodgson Terrace, Waltham Place and Church Street.
NATIONAL TRUST URBAN CONSERVATION AREA

1.7 ACKNOWLEDGEMENTS

The following people and organizations were consulted and provided assistance in the compiling of this study:

Bridget Everett, 50 Jessie St., Richmond.

National Trust of Australia (Vic.)

Richmond and Burnley Historical Society

Burnley Horticultural College.

State Library of Victoria.

University of Melbourne, Faculty of Architecture.

Nigel Lewis & Associates.

Carringbush Library

2.0 BACKGROUND HISTORY

In 1839, two years after the first land sales in the township reserve of Melbourne, Crown allotments were auctioned in Richmond, Fitzroy and Collingwood.¹

These allotments were, judging by their size, intended for development as farmlets (fig. 2.1). East Melbourne, on the other hand, was part of the Melbourne township reserve and its Crown allotments were consequently small.

However, it seems that many of the purchases in Richmond were made for speculative purposes, because within weeks some of the allotments were subdivided and advertised for sale in the Port Phillip Patriot.² The first to appear was William Wilton's Crown allotment 46 which was to be sold in one or more acre lots. In 1840 at a subdivision sale of Dr. Farquhar McCrae's allotment 24 the auctioneer described Richmond as "...the abode of aristocracy, wealthy and retired opulence..." and 36 half acre blocks were sold. The average price which, five months earlier, was £24/acre, exceeded £200/acre.³

It is recorded in E.M. Curr's 'Recollection of Squatting in Victoria' that speculation was a common practice:

"Another thing which struck the stranger in connection with business matters was how few persons seemed to have any idea of retaining permanently any property purchased, as it was no sooner acquired than the new owner seemed to set himself to calculate what it would fetch when put more advantageously on the market and sold at the expiration of a week or two. This seemed to be specifically the case as regarded town allotments, and people were always arguing that the value of that commodity increased in proportion to its subdivision and hence buying large lots, subdividing and reselling was constantly going on." ⁴

-
1. Port Phillip Gazette, 3rd Aug. 1839.
 2. Port Phillip Patriot, 16th Sept. 1839.
 3. 'Garryowen', The Chronicles of Early Melbourne, Melbourne 1888, p.24.
 4. Curr, E.M. Recollections of Squatting in Victoria, Melbourne, 1883, p.14.

In 1841 there was a slump in wool prices and a cessation of overseas investment. The Port Phillip district which was by now extensively occupied by pastoralists suffered a serious economic depression. Subdivisions on the Richmond flats were advertised in 1842 as "...well deserving public attention among the working class".⁵ A situation possibly attributed to the depression and consequent lack of interest from speculators, and also the fact that bounty immigrants now comprised the majority of Melbourne's inhabitants.⁶ Also by 1842, J.J. Peers' had established a quality brickworks⁷ probably on Crown allotment 22 or 23 as many clay pits are shown there on the 1855 Municipal Map by John Steel Magee.

By the mid 1840's the depression had ended and resumption of the Immigration Act resulted in a new influx of workers. The sale of Crown allotments recommenced in Richmond in 1845 and by 1851 a further fifteen allotments were sold. Reserves were also created for police purposes (Crown allotments 13-15), and for churches, recreation, produce market, schools and a mechanics' institute (Crown allotment 35). Thirty-one quarry sites were set aside on Crown allotments 9 to 15 where they abutted the river.⁸ The only other clay pits shown are at 'Yarraberg' which David Mitchell operated.

Richmond's population in 1846 was 402.⁹ At this time, Fitzroy and Collingwood were being rapidly subdivided, St. Kilda and Port Melbourne were fashionable picnic spots and Williamstown a busy port. The village at Brighton was the leading pleasure resort, and Heidelberg a prosperous farming community.¹⁰ East Melbourne was little built upon until after 1848 when Bishop Perry chose a site there for the Anglican Bishop's Palace. This gave an impetus to building and the area went ahead as a select and convenient one in which to live.¹¹

In 1852 North Melbourne, St. Kilda, South Melbourne, Port Melbourne, Essendon, Flemington, Carlton and Hawthorn were laid out.

-
5. Port Phillip Patriot, 7th February, 1842.
 6. Port Phillip Gazette, 3rd August, 1842.
 7. Grant and Herle, The Melbourne Scene, p.10.
 8. Surveyor General's Office, 1853 Plan of Quarry Allotments.
 9. Labilliere, Early History of Victoria.
 10. Grant & Serle, op. cit. p.13.
 11. Casey, Maie, Early Melbourne Architecture, p.117.

Melbourne's population had trebled by 1853 with people returning from the goldfields, while in Richmond major subdivisions had occurred in the north and west (fig. 2.3). Within the next four years, men who established their suburban villas on the Richmond hills included senior Government officials, Alexander McCrae and William Hull; newspaper proprietors Thomas Strode, George Cavenagh and George Arden; merchants Patrick Welsh, David Stodart Campbell and Alfred Woolley; and the bankers William Highett and John Gardiner. Their "...comfortable, if not architecturally stylish villas began to dot the place".¹²

On the river flats one of the earliest establishments was the large villa and gardens of colonial architect, Henry Ginn, who purchased his Crown allotment in 1846. This property was sold to James Ellis in 1853 and became the Cremorne Gardens amusement park. It was purchased by actors and entrepreneurs, Brooke & Coppin, in 1856. The gardens were based on contemporary English amusement parks set in landscaped grounds. (figs. 2.4, 2.5, 2.6, 2.7). A steam boat service carried patrons up the river from Melbourne. In 1863 the gardens were sold and adapted for use as a private lunatic asylum until 1884 when the area was purchased and subdivided by Thomas Bent.

Richmond was created a separate municipality in 1855. The survey maps of Magee¹³ and Kearney¹⁴ show that at this time many of the existing streets had been laid out but that almost all buildings, with the exception of those in the 'Yarraberg' area to the north-east, were concentrated in the western half of Richmond (fig. 2.8) - large suburban villas and gardens on the hill, and cottages on small blocks in the north and south, often in areas of relatively intense development isolated to individual streets. An illustration by S.T. Gill indicates the density of development on the south side of Richmond hill in 1857 (fig. 2.9). The factors influencing the location of the earliest development appear to have been a preference for high ground and a position on government roads, especially at cross roads.

Richmond's population in 1857 was 9,029 with 2,161 houses and five architects.¹⁵ The electors' roll for 1856-7 indicates an established retail and service trade in Swan Street and Bridge Road - butchers, drapers, shoemakers, hotels, fruiterers, tailors, hairdressers, grocers and blacksmiths.

12. 'Garryowen', op. cit. p.24.

13. Municipal Map, drawn by John Steel Magee, 1855.

14. Lands Dept. map surveyed by James Kearney, 1855.

15. Lewis, Nigel Development of Richmond into an Urban Area and Social Structure.

With separation from Melbourne, Richmond, along with Collingwood, became exempt from the Melbourne Building Act of 1841 which controlled building and subdivision standards. Developers were free to plan streets, reduce frontages and build what they liked. Closer development of Richmond was also encouraged by the railway which was extended from Melbourne by 1859, and by horse drawn omnibuses which connected Richmond with Melbourne along Bridge Road.

The 'Richmond Guardian' reported in 1859 that, "Richmond is not like other metropolitan offshoots - a business place - but a residential one. Many old inhabitants of the Colony are located in it. Business men and clerks seek the quietude of its shelter after the bustle and fatigue of the day. An intelligent, independent body of working men have pitched their residences in it...". However, besides the claypits and associated brickworks already mentioned, one industry which was operating in Richmond at this time was Egan's steam saw mill on the corner of Church Street and Bridge Road (fig. 2.10).

Melbourne's population in 1861 was 37,000 (including Carlton and East Melbourne); Richmond, Collingwood and Fitzroy each had about 12,000, Prahran 10,000, South Melbourne 9,000, North Melbourne 7,000 and St. Kilda 6,000.¹⁶ Fig. 2.11 shows the development along Punt Road c.1860, while fig. 2.12 indicates how little developed south-east Richmond was in 1869. Unemployment was a major issue during the 1860's and in 1862 the Richmond Council sought the repeal of the Yarra Pollution Prevention Act of 1855 (which forbade fellmongeries, starch and glue factories, and boiling down works discharging waste into the river) so that the river frontages could be opened to manufacturing.¹⁷ By 1865 a quarry, stone crushing mill, fellmongery and abattoir had been established on the river flats in Burnley (fig. 2.13), and by the 1870's a panoramic view of Richmond carried the caption 'Industry in Arcady' (fig. 2.14).

As with Melbourne and its other suburbs, the most active period of development in Richmond was in the 1870's and 1880's. The eastern half of the town was partly subdivided by 1874 (fig. 2.15) and by 1888 most subdivision patterns were complete, the major exception being Cole's paddock on Victoria Street (fig. 2.16).

-
16. Grant & Serle op. cit. p.77.
 17. Richmond Australian, 6th December, 1862, 13th December, 18862.
 18. Springall, R.C. Analysis of Richmond's Change from a Residential to an Industrial Environment during the Nineteenth Century. p.39

Richmond was proclaimed a town in 1872 and a city in 1882. Its population in 1880 was 23,395 and in 1890 it was 38,797. The ratebooks list 52 industrial establishments in 1880:

6 Tanneries	3 Woolscouring Plants
5 Breweries	1 Stone-crushing Plant
2 Coach Builders	1 Cordial Works
4 Quarries	1 Mattress-maker
4 Timber-yards	1 Eucalyptus Distillery and Laboratory
3 Malthouses	1 Shirt Factory
2 Boot Factories	1 Clothing Factory
2 Piano Manufacturers	1 Paperbag Factory
2 Fellmongeries	1 Mill
1 Perambulator, Invalid Chair Maker	1 Glass Works
1 Glue Factory	1 Hat Factory
1 Pottery Works	1 Abattoirs
1 Leather Works	1 Windsor Chair Maker
1 Organ Builder	1 Rope Factory
1 Churn/Trunk Maker	

During the 1880's exorbitant rents and property prices in Melbourne encouraged shopkeepers to set up business in suburbs like Richmond:

"Of late I have heard many serious misgivings expressed by sagacious and far-seeing financiers as to the permanence of the inflated value of city property. For the rise has necessitated the demand for higher rents, and these have reached such a maximum in some localities as to render it impossible for tenants to pay them; and the result is a migration of shopkeepers to the suburbs. Formerly their customers would not have followed them; but since the construction of the tramways this has ceased to be the case; and people flock to Carlton, Fitzroy, Collingwood and Richmond or anywhere else if they can purchase goods there at a reduction on Melbourne prices..."¹⁹

The majority of the existing shops in Swan Street and Bridge Road date from this period.

The depression of 1891 caused development to virtually cease until the turn of the century and Federation. Fig. 2.17 records the number of dwellings, their construction materials and sizes between 1857 and 1891. A comparative study of dwelling sizes and construction materials for Richmond, Collingwood and Fitzroy between 1857 and 1891 shows that whilst Richmond had a low proportion of brick housing, comparable with Collingwood, it was generally more comparable with Fitzroy with respect to house size with a low percentage of one and two roomed dwellings compared with Collingwood (figs. 2.18, 2.19). On this basis Richmond does not appear to have been as humble an area as Collingwood.²⁰ It is surprising that no prefabricated iron houses seem to have survived in Richmond. The 1855 Magee map shows a number of iron houses particularly in Westbank Terrace. Apart from the prefabricated

19. Table Talk, 29th June, 1885

20. Lewis, Nigel. Development of Richmond into an Urban Area and Social Structure p.20.

buildings of the earliest settlers, large numbers were imported at the time of the gold rush, not only of iron but of timber, zinc and other materials. In fact Victoria in the 1850's was the biggest market for prefabrication the world has ever seen.²¹ It is also surprising to note the numerous villas with extensive gardens shown on the 1890's M.M.B.W. maps of Richmond. Most of these houses had disappeared by World War 2. The maps also show extensive bluestone quarries in the area bounded by Barkly Avenue, Mary Street and the river.

Houses constructed between Federation and World War One make up a substantial proportion of Richmond's building stock particularly in the eastern half of the city. Cole's paddock was subdivided by this time (fig. 2.20). Encouraged by high tariff protection, new factories and stores were also being established, most notably Bryant & May, Wertheim's piano factory, Dimmey's Model Store, Ruwolt, Rosella, Moore Paragon and Mayall's tannery. By 1919 there were nine tanneries.

When building activity resumed, after World War One, the factories of Pelaco and Ajax Fasteners were established. The newly formed Housing Commission of Victoria constructed a housing estate on the old racecourse in 1941 (first stage) based on the English 'garden city' concept, while Epworth and Bethesda hospitals engulfed the mansions of William Highett and Mrs. Robert Hoddle respectively. Richmond's population peaked at 43,353 in 1921.

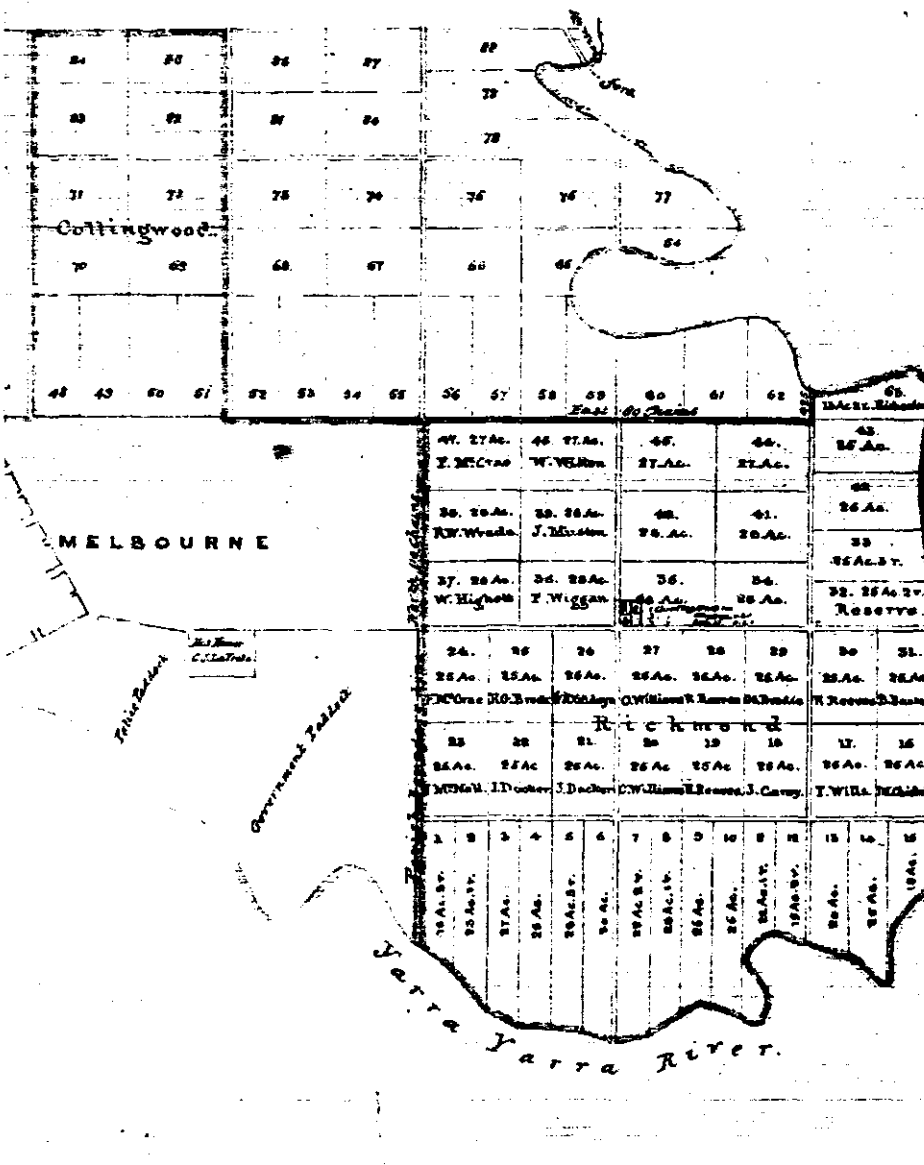
After World War Two building activity concentrated on flats, often high rise, and again on factories. Also the nineteenth century building stock lost much of its integrity as alterations were made in the name of modernisation.

During the 1980's large scale industrial demand has rapidly receded in Richmond and many factories are themselves subject to adaption or redevelopment. At the time Richmond is again becoming a desirable residential area.

21. Historic Environment Vol. 4, No. 1, 1984, pp. 3, 4.

SKETCH

of the proposed Boundaries
 of the VILLAGE of
RICHMOND
 in the County of Bourke
 Parish of Jika Jika



*Transmitted with Description
 and my Letter No 150
 Dated 11th November
 1843*

*Robert Hoddle
 Surveyor*

Fig. 2.1 Richmond Crown Allotments.

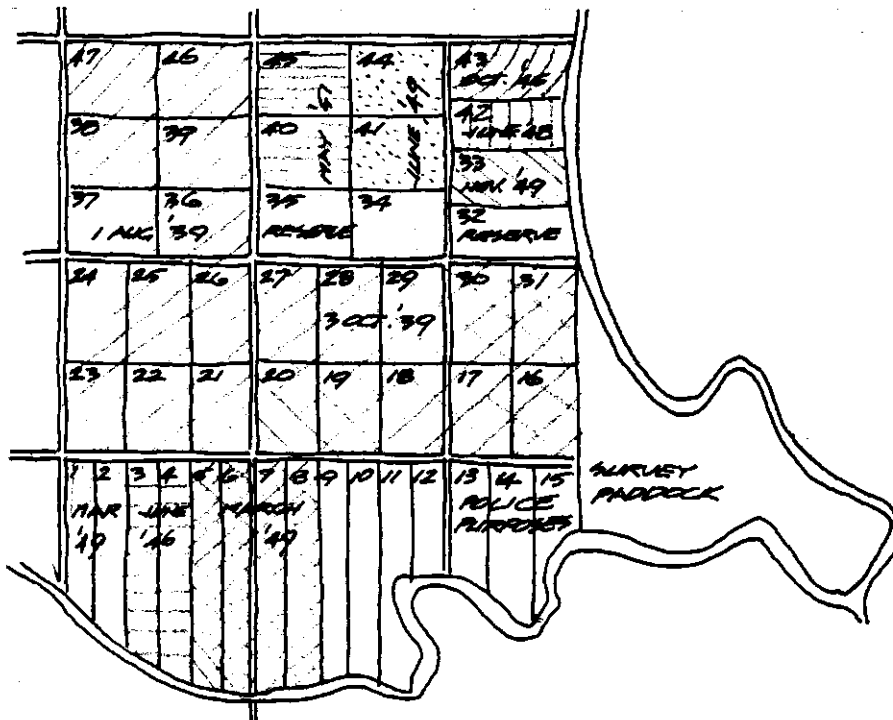


Fig. 2.2 Sequence of Sale of Crown Allotments in Richmond.

OF THE
CITY OF MELBOURNE
 AND ITS EXTENSION,
 (TOGETHER WITH)
COLLINGWOOD, RICHMOND,
HAWTHORNE, THE EMERALD HILL,
 and a portion of PRAHRAN.

Compiled from the Government Plans and Private Survey

By William Green
 Surveyor and Land Agent
 95 Queen Street
 Melbourne

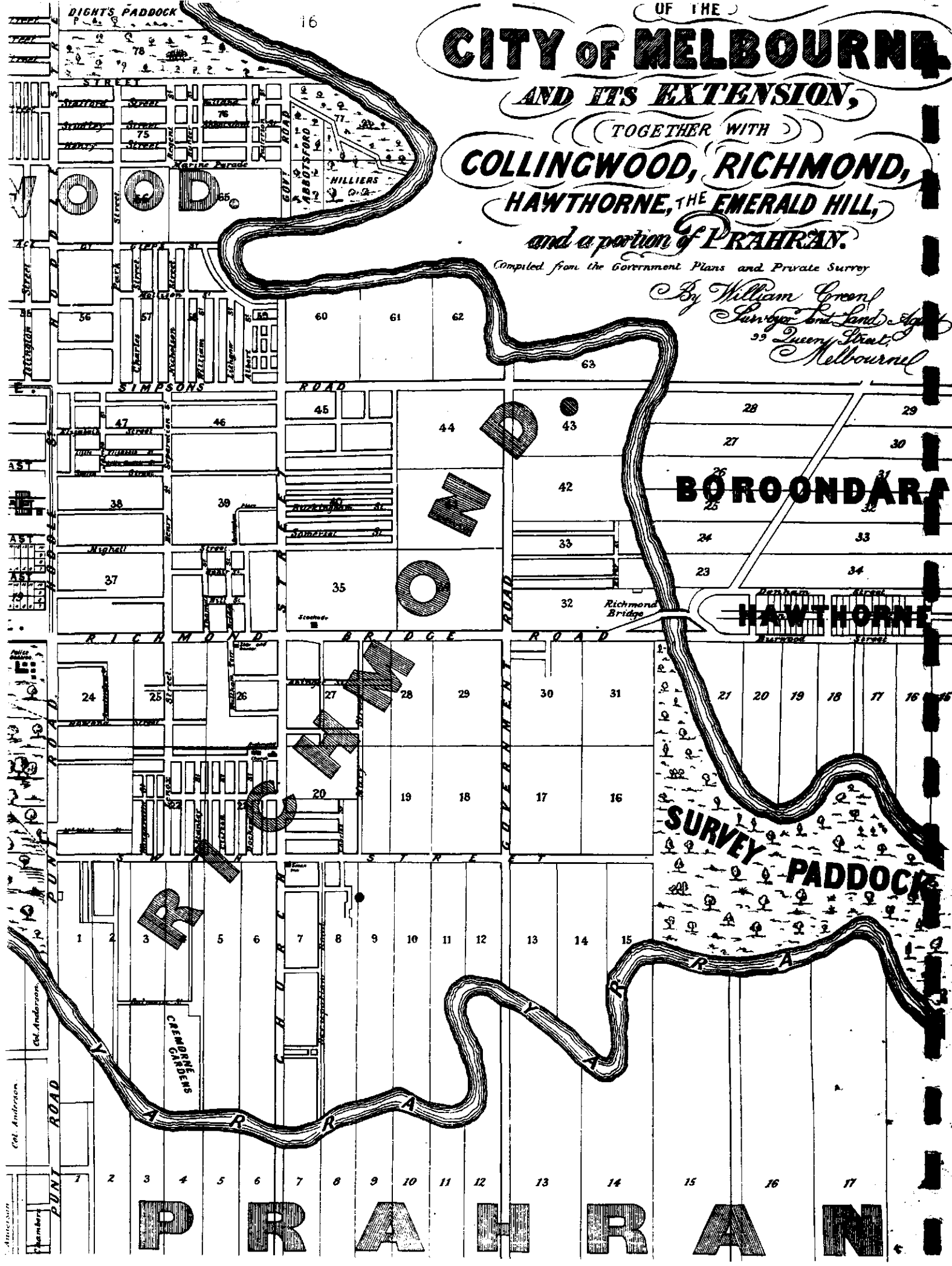


Fig. 2.3 Green's 1853 Map.

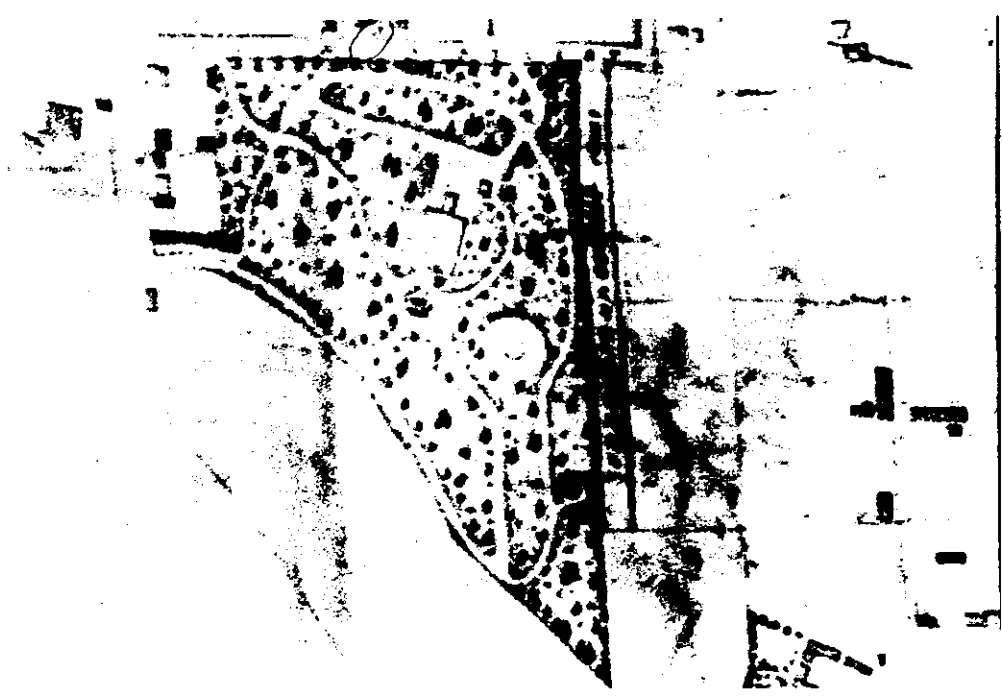


Fig. 2.4 Plan of Cremorne Gardens. Detail from the 1855 Magee Map



Fig. 2.5 View of Cremorne Gardens from the South, c 1855, with the former house of Henry Ginn to the left (demolished).

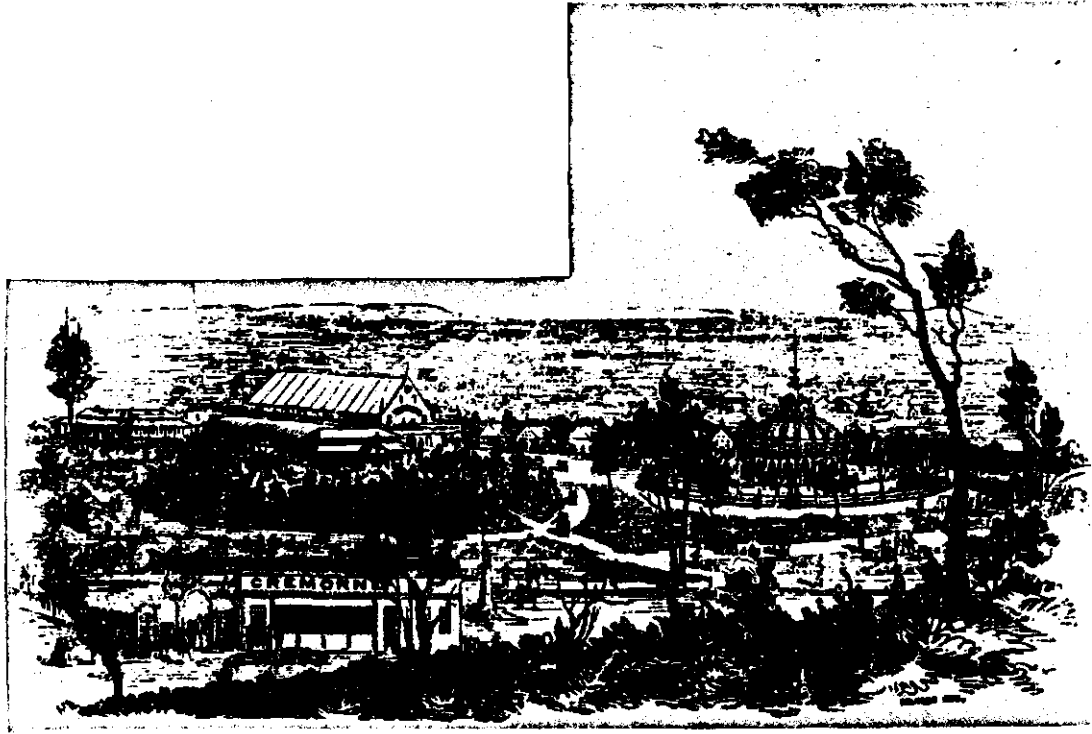


Fig. 2.6 Cremorne Gardens from the South, c. 1860

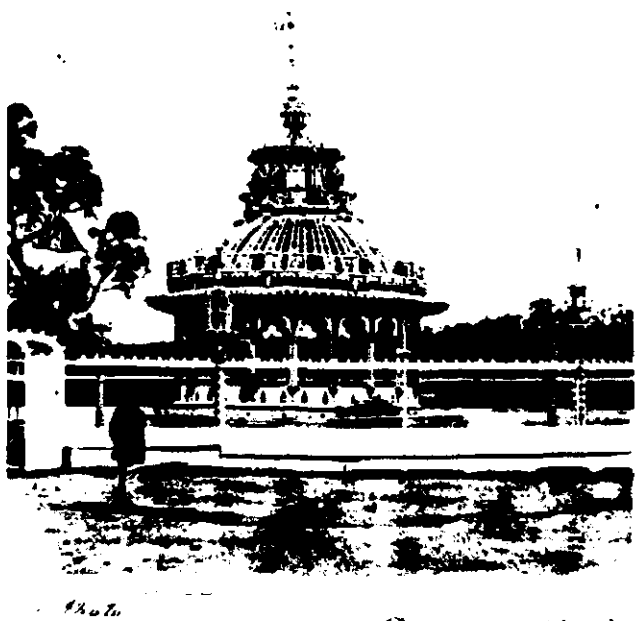


Fig. 2.7 Band Stand and Dance Floor, Cremorne Gardens, c 1860 (demolished).

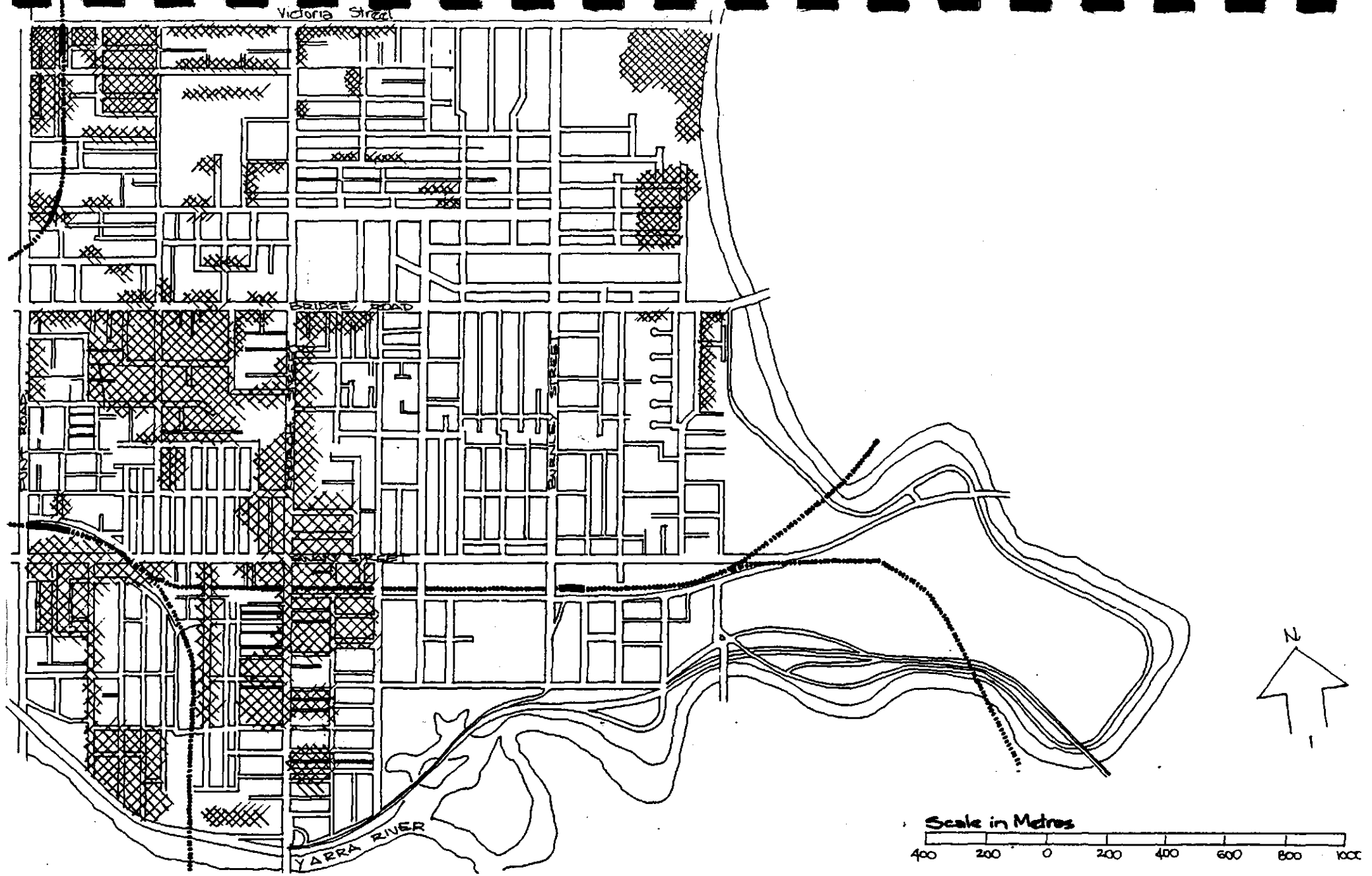


Fig. 2.8 Extent of Building Development by 1855 (shown hatched), as derived from Magee Map.



Fig. 2.9 Richmond from the South West 1857, illustration by S.T. Gill.

EGAN'S STEAM SAW MILLS
 CHURCH STREET & BRIDGE ROAD, RICHMOND.

*A Mel
 adverti
 and B*



*In
 getter*

Buildings, Archedaves, Mouldings, Lime, Slates, Laths, Doors, Decks—mild and cut, etc., etc.
 Also, all kinds of Milling. Materials on hand. Timber cut to any size, according to order.
 Building Materials delivered free within the Toll-bar.

*At
 tir
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 pl
 al*

Fig. 2.10 Egan's Steam Saw Mill, corner of Church Street and Bridge Road, 1859.



Fig. 2.11 Punt Road in flood, looking to the south-east, c 1860.



Fig. 2.12 View of South-East Richmond from the Town Hall Tower, c 1870.

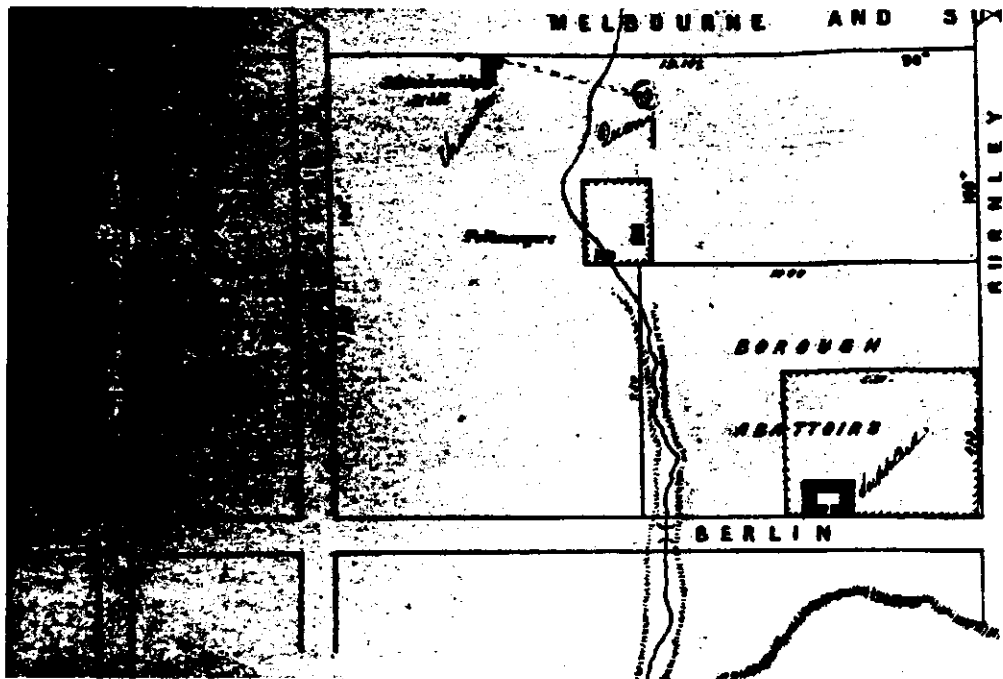


Fig. 2.13 Abattoir, Fellmongery, Stone breaking Mill and Quarry in Burnley, 1865.



Fig. 2.14 'Yarraberg' River Street, looking to the southwest, 1870's.

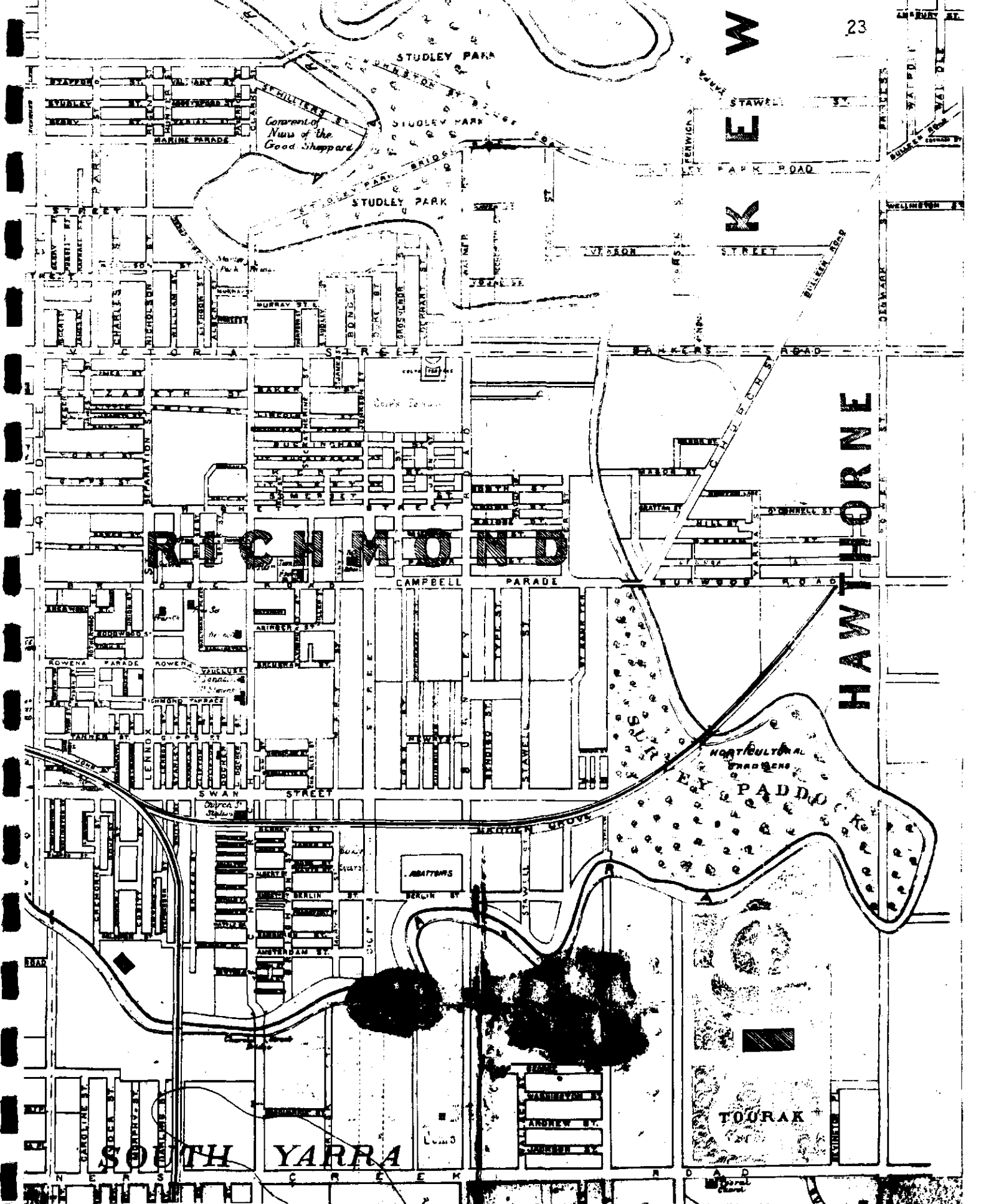


Fig. 2.15 Whitehead's 1874 Map.

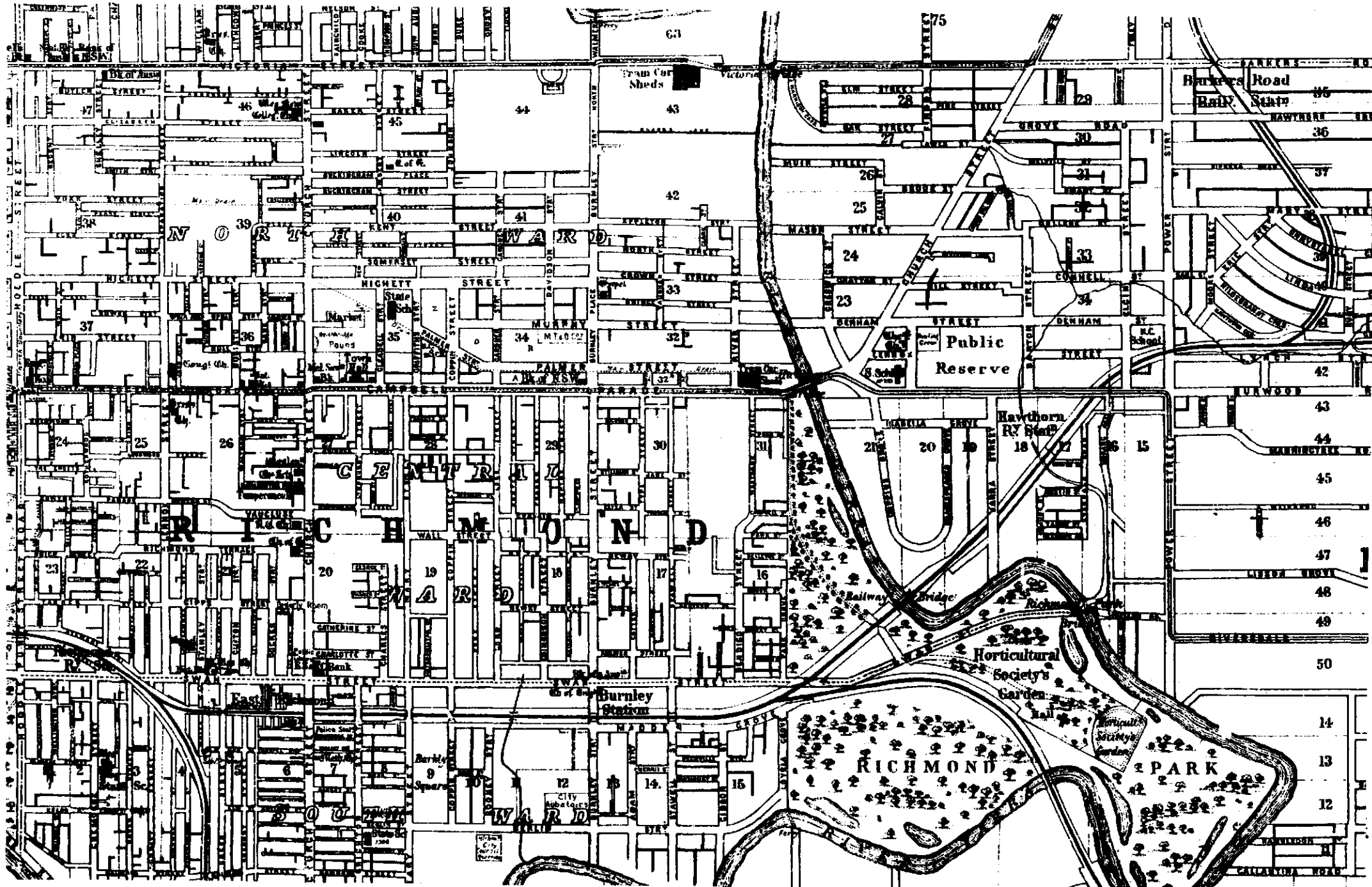


Fig. 2.16 Allen and Tuxen's 1888 Map.



YEAR	POPULATION			DWELLINGS			NO. OF INHABITED DWELLINGS							SIZE OF DWELLINGS								
				INCL. TENTS			CONSTRUCTION MATERIALS							EXCL. CAMPS + TENTS								
				TOTAL	MALES	FEMALES	INHABITED	WILKINS PLATED	UNDER CONSTR.	BRICK SILENS ETC.	WOOD LATH, PLASTER IRON	SLAB MUD SET	TENTS	UNSPEC.	OTHER MATERIALS (COVERED BY OTHER)	TOTAL ALL MILDS	TOTAL NO. OF ROOMS	NO. OF HOUSES OF THE FOLLOWING NO. OF ROOMS				
													1	2	3+4	5+6	7-10	10+N/S				
1854	7644	4105	3539																			
1857	9029	4484	4545	2004	126	21	467	1672	UNSPEC.	21	38	-	2221		50	773	972	166	101	5		
1861	11355	5590	5765	2595	332		731	2010	15	14	147		2937		83	693	1276	365	165	34		
1871	TOTAL	16,839	8,380	8,506	3476	190	30	203	2407	6	1	12	4	3631		56	475	2035	720	336	20	
	CENTRAL	6,296	3,053	3,243	1,227	75	16	498	819					1320		13	138	662	321	177	0	
	NORTH	4,769	2,375	2,394	978	51	-	376	763					1041		9	128	636	186	79	8	
	NORTH	5,824	2,955	2,869	1199	57	14	429	821	6	1	7	2	1270		14	209	737	213	83	12	
1881	TOTAL	23,405	11,379	12,026	4,744	161	23	523	2,998	3		99	5	4,923	21,211	24	296	2727	1165	563	15	
	CENTRAL	9,004	4,247	4,757	1,744	76	10	749	1,034			47		1830	8043	10	93	869	449	248	6	
	NORTH	5,638	2,852	2,786	1195	26	4	369	833			23		1,225	5044	8	89	720	267	98	4	
	NORTH	8,763	4,280	4,483	1805	59	9	745	1131	3		29	5	1870	7804	6	114	1138	399	167	5	
1891	TOTAL	36,147	18,534	19,257	7959	211	44	534	5025	2	19	280	7	9840	39,413		265	7,283		784	152	37
	CENTRAL	8029	3,730	4,299	1767	241		717	1171	1		99		2008	8147		71	1,659		116	19	4
	NORTH	4,978	2,561	2,417	1024	120		312	963	1		32	1	1208	5292		32	1,050		78	14	3
	NORTH	9,677	4,987	4,690	2007	142		746	1,358	1	18	55	6	2177	9442		87	1,860		123	27	8
	CENTRAL	6,808	3,447	3,361	1923	151		548	902			24		1476	6678		35	1,273		111	20	3
	NORTH	8,905	4,315	4,592	1792	174		971	911		1	68		1771	10,154		40	1,426		356	52	8

Fig.2.17

Richmond Dwelling Numbers and Sizes and Construction Materials, 1857 - 1891.

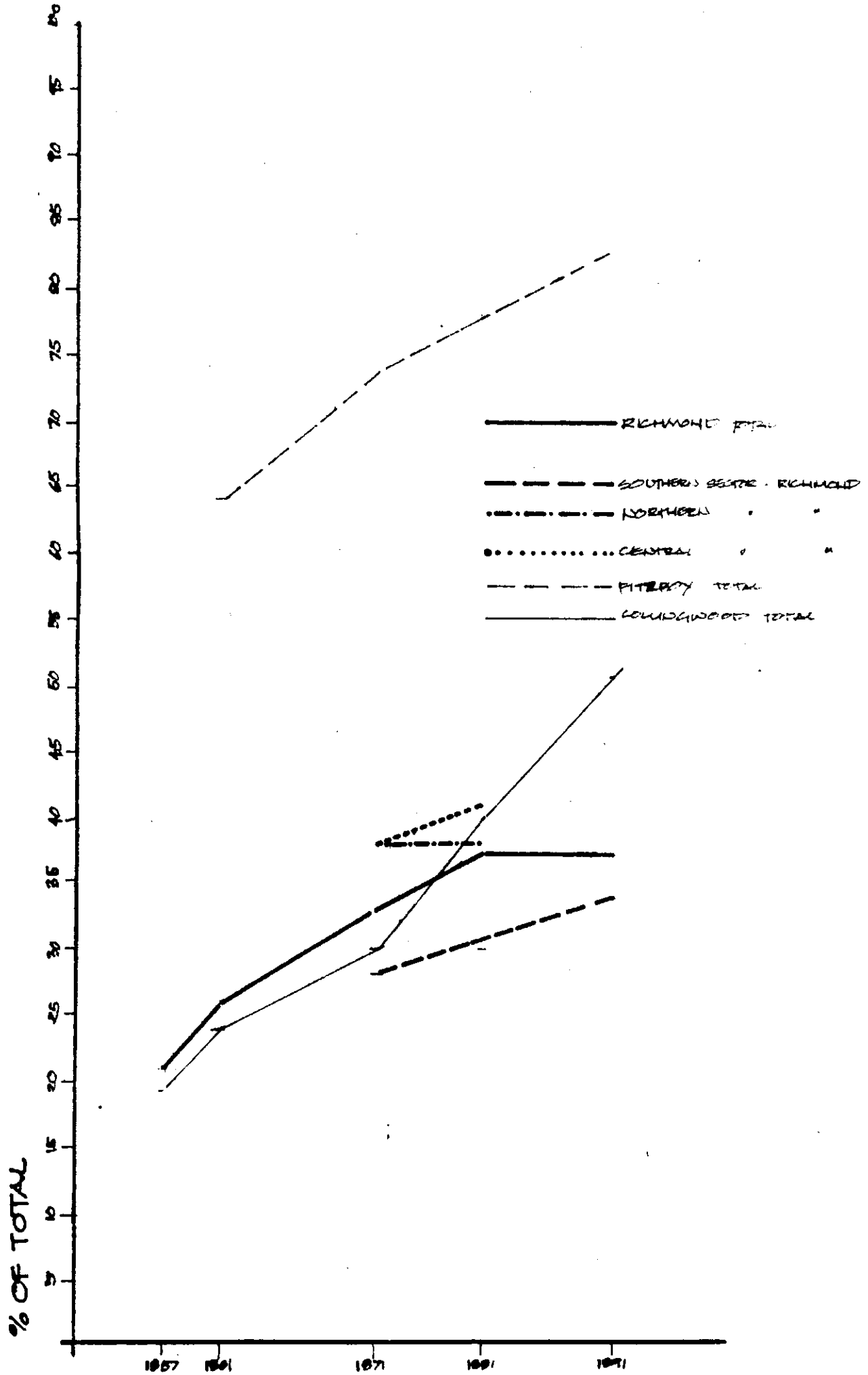


Fig. 2.18 Comparison of Brick Dwellings, 1857 - 1891.

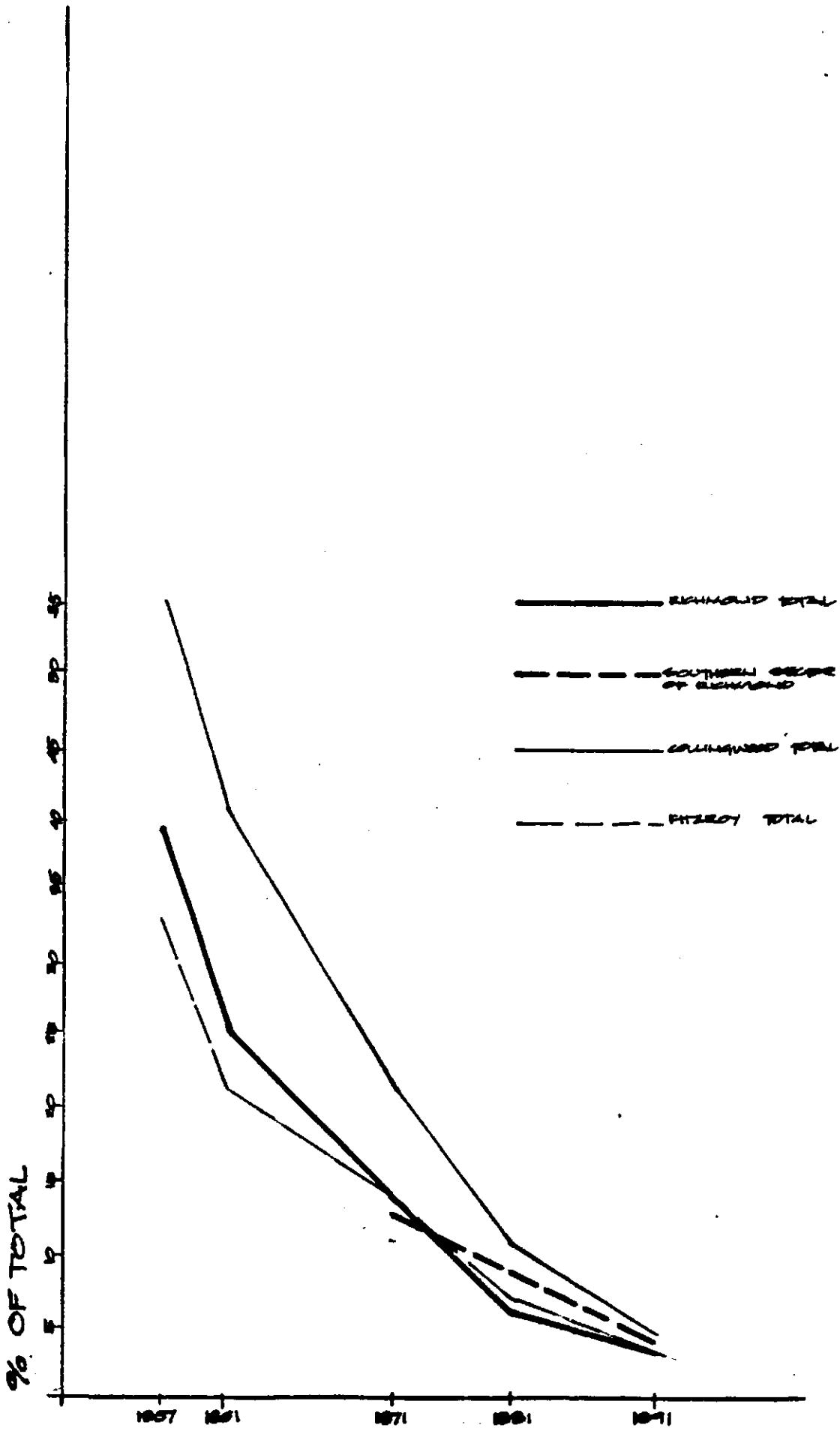


Fig. 2.19 Comparison of One and Two Room Dwellings, 1857 - 1891.

COLLINGWOOD

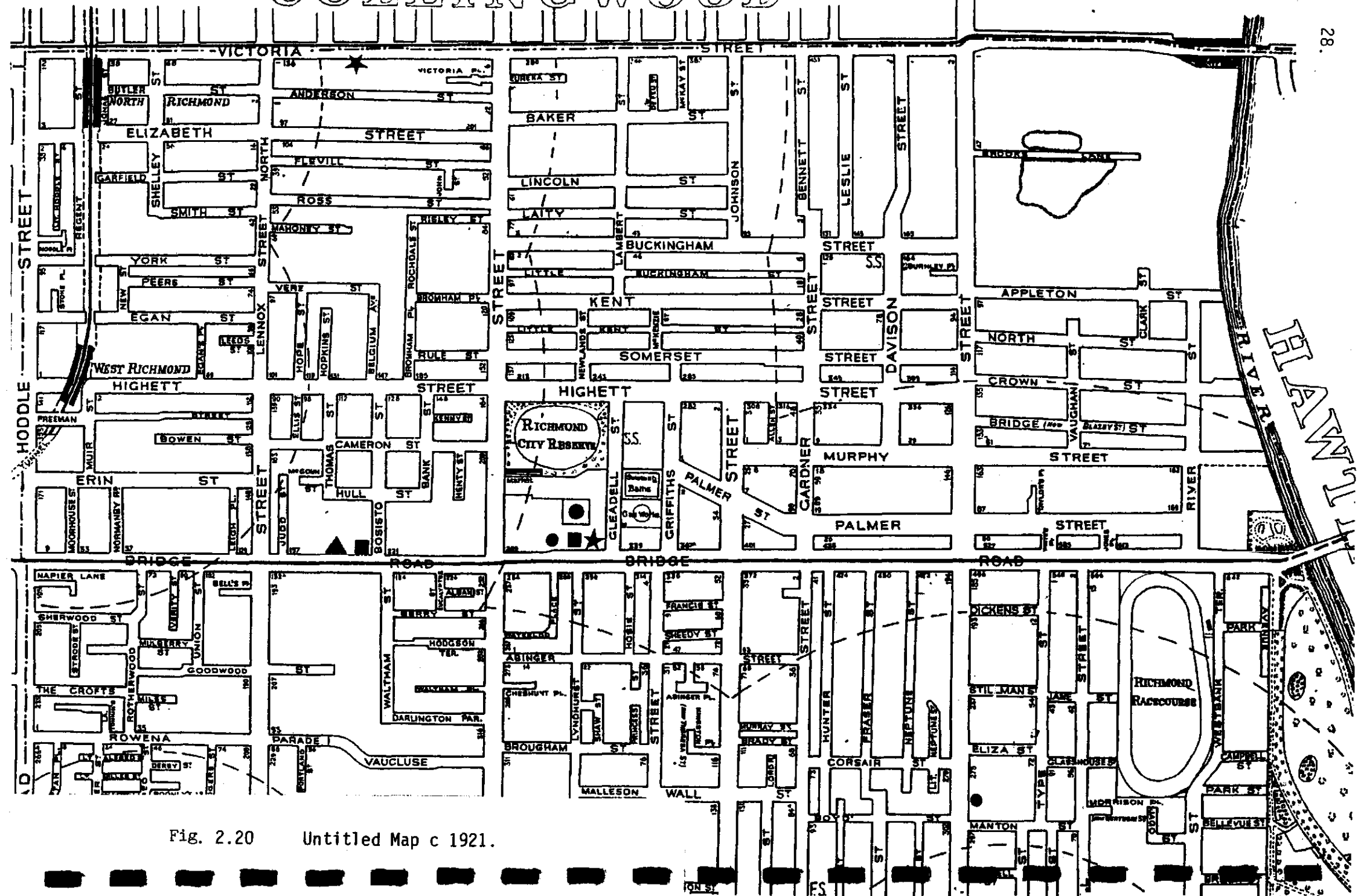


Fig. 2.20 Untitled Map c 1921.

3.0 RECOMMENDATIONS

3.1 GENERAL RECOMMENDATIONS

The following action is recommended to protect the historic character of Richmond:

1. Submit the identified Conservation Areas for inclusion under appropriate planning controls under the Melbourne Metropolitan Planning Scheme.
2. Apply to the Historic Buildings Council to add those buildings recommended for inclusion on the Historic Buildings Register, (A grade).
3. Designate those buildings outside Conservation Areas identified as important (A, B & C grade) under the provisions of Clause 8 of the Town and Country Planning Act (Third Schedule). The Melbourne Metropolitan Planning Scheme is currently being amended to provide for this situation.
4. Apply to the Australian Heritage Commission to add those buildings recommended for inclusion on the Register of the National Estate, (B grade).
5. General planning measures such as those determining height limits and densities should be revised to encourage the re-use and adaption of existing buildings in preference to demolition, and to ensure consideration of context in the design of new buildings in Richmond.
6. Utilise and make the Guideline Section available to building occupants and owners within the study area. The Council may consider it appropriate to duplicate and distribute copies of the Guidelines to raise public awareness of Richmond's particular qualities.
7. A range of different approaches to additions and new buildings are described in the Guidelines but these should not be applied inflexibly. Each project ideally should be considered on its own merits. To this end it is recommended that the Council consider the benefits of an architectural advisory service. This service has been successfully adopted by several cities and shires including: Ballarat, Maldon, Portland, Queenscliff, Port Fairy, Clunes, Buninyong, Talbot, Beechworth, Chiltern and Yackandandah.

3.2 GRADING OF BUILDINGS AND STREETS CAPES

3.2.1 Within the City of Richmond each building of historic or architectural significance has been graded according to its importance. Streetscapes, that is, significant groups of buildings along a street frontage, have also been graded for planning control purposes. The individual buildings are graded A to E, the streetscapes from Level 1 to Level 3, both in descending order of significance.

'A' BUILDINGS are of national or State importance and are irreplaceable parts of Australia's building heritage. These buildings are on, or are recommended for inclusion on, the Historic Buildings Register, and the Register of the National Estate.

'B' BUILDINGS are of regional or metropolitan significance and stand as important milestones in the architectural development of a region. Many are already, or are recommended for inclusion, on the Register of the National Estate.

'C' BUILDINGS make an architectural and historic contribution that is important within the local area. This includes well preserved examples of particular styles, as well as some individually significant buildings which have been altered or defaced.

'D' BUILDINGS are either reasonably intact representatives of particular periods or styles, or they have been substantially altered but form part of a terrace group which retains much of its original character.

'E' BUILDINGS have generally been substantially altered. Because of this they are not considered to make an essential contribution to the character of the area, although retention and restoration may still be beneficial.

LEVEL 1 STREETS CAPES have a statewide significance, and define an important collection of buildings, generally from a similar period or representing a similar style.

LEVEL 2 STREETS CAPES have a regional or local significance because the character and scale of a particular period or style still predominates, even though there may be some gaps, and in some cases the buildings may have a relatively low significance individually.

LEVEL 3 STREETS CAPES provide a setting for significant buildings or complement level 1 and 2 streetscapes. All streets within a conservation area are level 3 streetscapes except for those designated as level 1 or 2.

3.2.2 SELECTION CRITERIA USED FOR THE GRADING OF BUILDINGS.

Grading has been based on an assessment of historic and architectural significance in terms of the following criteria:

CRITERIA FOR HISTORIC SIGNIFICANCE OF A BUILDING

- . one of the earliest buildings in the area.
- . one of the first or the earliest surviving buildings of its type.
- . still retains its original use (e.g. boarding house, real estate agency).
- . has interesting connections with historical events or important people.

Any of these items adds to the merit of a building and serves to increase the appreciation and understanding of a building's history and importance.

CRITERIA FOR ARCHITECTURAL SIGNIFICANCE OF A BUILDING.

- . a rare example of a period or style.
- . an unusually intact example of a period or style.
- . a notable example of a period or style.
- . the work of a notable architect.
- . a notable or unusual example of craftsmanship or decoration.

3.2.3 SELECTION CRITERIA FOR GRADING OF STREETSAPES.

Again, grading is based on an assessment of historic and architectural significance, together with an overall assessment of area character.

CRITERIA FOR HISTORIC SIGNIFICANCE OF STREETSAPES.

- . Ascertained after research, an assessment of the original subdivisions may indicate the layout is of particular importance.
- . The dates of early land sales and the resultant periods of building activity may identify a concentration of buildings representing a particular era.
- . A group of buildings may be associated with particular events or functions which adds some importance to their existence.
- . Groups of buildings of architectural similarity, perhaps composed of a specific style (e.g. consistent Edwardian style buildings) which read as a coherent whole.

CRITERIA FOR ARCHITECTURAL SIGNIFICANCE OF STREETSAPES (CONT'D).

- . Similar buildings of consistent height and scale forming a recognisable group. (e.g. a group of double storey shops with repetitive window openings, shop-fronts and facade elements).
- . Groups of buildings of architectural diversity which display a variety of styles and/or building materials. Each building has its own architectural merit. The total appearance is one of variety, however the buildings appear as a group.

CRITERIA FOR ASSESSMENT OF THE CHARACTER OF A STREETSAPPE.

- . Street trees or planting dating from the same period or which are typical of the period of identified buildings in the streetscape.
- . Contributory street materials such as bluestone kerb and channels.
- . Topographical features such as Richmond Hill which have affected the development of an area or which enhance the environmental quality of an area.
- . Vistas which are enhanced by towers, church spires or other prominent buildings.

3.3 RECOMMENDED CONSERVATION AREAS

See fig. 3.1 for the summary of recommended Conservation Areas. These areas are described in detail in Section 6.0.

3.4 RECOMMENDED BUILDINGS

Based on the grading system described in Section 3.2 the results were as follows:

<u>Grade</u>	<u>Number of Buildings</u>
A	17
B	105
C	782
D	4,414
	<u>5,318</u>

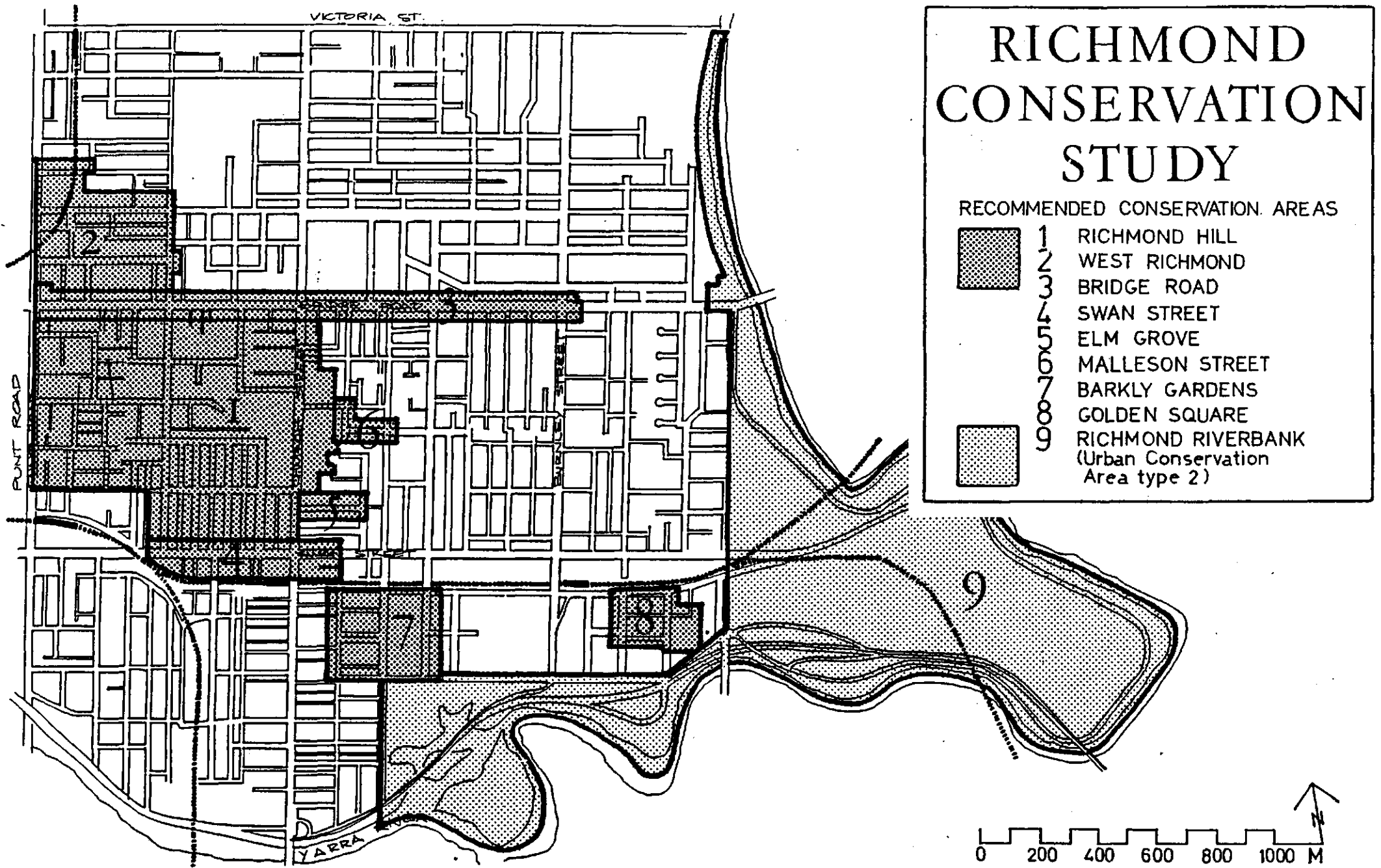


Fig. 3.1 Recommended Conservation Areas.

3.4.1 A BUILDING INDEX

BRIDGE RD.

1 former Cable Tram Engine House
649 (facade) former Cable Tram Depot

CHURCH ST.

St. Ignatius Church
360 St. Stephens Church
293 former Lalor House
560 Bryant & May Factory

DAVISON ST.

Richmond North Primary School

ELM GROVE

3 Three Storey Brick Residence

ERIN ST.

15 Brick Villa
29 "Elim"

HOODLE ST.

171 "Urbrae"

LENNOX ST.

207 Brick Villa

LESNEY ST.

36 Timber Villa

ODDY'S LANE

former Melbourne Electric Supply Co.

SWAN ST.

92 former South Richmond Post Office and Telegraph Office

UNION ST.

12 Bluestone Residence

WALTHAM ST.

42 (rear) Stucco Villa

3.4.2 B BUILDING INDEX

BENDIGO ST.

GTV9 former Wertheim Piano Factory

BOSISTO ST.

6 Bluestone Residence

BRIDGE RD.

108
110 } Brick Shops
112 }
138
140 } "Wustermann's
142 } Buildings"
144 }
184 former State Savings Bank
201
203 } Brick Shops
205 }
207 }
231 National Bank of Australasia
294 } "Theobalds
296 } Buildings"
381
383 }
385 } Stucco Shops
387 }
389 }

BURNLEY ST.

377 A.N.Z. Bank

CHURCH ST.

St. Ignatius' Presbytery
St. Ignatius' School
294 Richmond U.F.S. Dispensary
300 former Wesleyan Chapel
" " Parsonage
" " School House (1853)
" " School House
316 Hibernian Hall
339 Brick Villa
264 Stucco Villa
377 "Helenville"
384 former Residence & Surgery
454 } Brick Shops
456 }

CLIFTON ST.

29 Brick Residence

CUBITT ST.

16 } Brick Cottages
18 }

DOCKER ST.

37 "Howlands"

ELM GROVE

17 Brick Residence
19 Stucco Residence

ERIN ST.

18 "Glen Nevis"
25 } "Mossgiel" (27)
27 } Terrace House Pair
49 Stucco Residence
67 Stucco Residence

GIPPS ST.

Richmond Drill Hall
29 former Warehouse

GLEADELL ST.

1 former Gas Inspector's Cottage

GRATTAN PL.

6 Weatherboard Cottage

JAMES ST.

13 } Bluestone
15 } Residences
14 Stucco & Bluestone Residence

LENNOX ST.

173 former Livery Stables
182 "Rehilla"
195 Stucco Residence
221 "Orwell Cottage"

HULL ST.

3 "Roeberry House"

MILLER ST.
2 "Avalon"

MOORHOUSE ST.
2]
4] Terrace
6] Houses

PORTLAND ST.
3 former 'Robert
Russell' Residence

PUNT RD.
329]
331]
333] "Shakespeare
335] Terrace"
337]
339]
341]
343]

RICHMOND TERRACE
St. Stephen's Hall
57 Stucco Terrace House

ROTHERWOOD ST.
33 "Rotherwood"

SWAN ST.
105 National Bank
of Australasia
148 Dimmeys
216 State Bank
232] Three Storey
234] Stucco Shops
240 M. Ball & Co.
250] former Whitehorse
252] Hotel

UNION ST.
9 Two Storey
Timber Residence

THE VAUCLUSE
F.C.J. Convent Chapel
F.C.J. Convent Gatehouse
F.C.J. Convent Infirmary
formerly "Eurolie"
F.C.J. Catholic School
F.C.J. Convent

10 Residence with Tower
12]
14] Brinsley Place

VICTORIA ST.
488 Brick Factory

WALTHAM PL.
10 former Bedggood's
Shoe Factory
12]
14]
16]
18] Brick Terrace
20] Houses
22]
24]

WALTHAM ST.
6 The Elms

WELLINGTON ST.
former Sutherlands
Distillery, Cnr. Blanche
Street.

5 former Freemasons
Hotel
15 Stucco Residence

3.4.3 C BUILDING INDEX

ABINGER ST. 28 84	BALMAIN ST. Rosella Preserving Co. 69 80 90] 75 81] 92] 83]
ALFRED ST. 7	
APPLETON ST. 14 24	BARKLY ST. 9 17
BAKER ST. 6 53] 73 55] 85	BELL ST. 15] 19] 17] 21]
	BENDIGO ST. 19 83 100] 102]

BENNETT ST. 36	BERRY ST. 18	BOSISTO ST. 29] 31]	BOWEN ST. 7
		BRIDGE RD. City Hall Police Station Napier Hotel	

BRIDGE RD. (CONT'D.)

38]	195	384]
40]	209	386]
42]	240	388]
44]	246	390]
39]	254	392]
41]	256]	398]
43]	258]	400]
45]	260]	402]
47]	267]	404]
46]	277]	418]
48]	279]	420]
50]	281]	422]
49]	283]	428]
51]	278]	430]
53]	289]	432]
65]	291]	434]
73]	293]	450]
75]	295]	452]

BRIDGE RD. (CONT'D.)

77 297 454]
 84 299 486]
 96 301 488]
 122 303 597]
 130 305 599]
 132 307 619]
 134 314 621]
 137 316 623]
 139 318 625]
 141 320 627]
 150 322 629]
 152 324 631]
 162 326 633]
 164 328 635]
 166 370 637]
 186 376 639]
 188 378]
 194 380]
 382]

BRIGHTON ST.

2 17 30]
 4 19 51]
 146
 167

BROOKS ST.

13

BROUGHAM ST.

2

BUCKINGHAM ST.

38

BUNTING ST.

92]
 94]

BURGESS ST.

2

BURNLEY ST.

Burnley Congregational Church
 Burnley Uniting Church
 St. Bartholomews
 4 185 291]
 53 254 293]
 128 264 380]
 144 289 400]
 166 402]

CAMERON ST.

24

CHAPEL ST.

8

CHARLES ST.

14]
 16]

CHESTNUT ST.

40 43 48

CHURCH ST.

71 269 425
 89 273 430
 135 276 466]
 178 296 468]
 202 353 472]
 204 359 474]
 206 379 533]
 256 381 535]
 259 382 537]
 383 619
 391

CLIFTON ST.

10 11 26
 12 13 27
 14 15 34
 16]

COPPIN ST.

13 203 234
 27 206 235
 79 208 245
 112 227

CORSAIR ST.

30 32

CREMORNE ST.

Richmond Primary School
 60 62 112
 64 117
 66 122

THE CROFTS

13 19 20
 15 21]
 23]
 25]

CROWN ST.

9 13]
 11 15]
 17]

CUBITT ST.

12 45 58]
 41 47 60]
 43 49 158

DAVISON ST.

1 6 19]
 2 8 21]
 4]

DICKENS ST.

1 7 8
 3 9]
 5 11]

DICKMAN ST.

5

DOCKER ST.

25 46 57
 34 47 62
 38 55 64

DOVER ST.

30 34]
 32 36]
 38]

DUKE ST.

19

EDINBURGH ST.

42 58]
 60]

EGAN ST.

1 33 45

ELIZABETH ST.

74 93 102

ELM GROVE

12 21 25

ERIN ST.

2 21 45]
 4 23 47]
 6 22 51]
 8 26 53]
 16 39 57
 17 41]
 19 43]
 20

FRASER ST.

8 75

GARDNER ST.

82

GIBDON ST.

9 24]
 13 26]

GIPPS ST.

35]
 37]

GLEADELL ST.

Richmond City Baths

GOODWOOD ST.

Pelaco Factory

GORDON ST.

S.E.C. Depot

GRATTAN PL.

2

GREEN ST.

16 45 62]
 64]

GRIFFITH ST.

33]
 35]

HARCOURT ST.

Silos

HIGHETT ST.

West Richmond Railway Station
 23 69 263
 44 132 270
 46 193 279
 51 195 321
 53 197 345
 60 221 361
 68 247 382]
 70 261 384]

HODDLE ST.

27 139 167
 99 145
 117 155]
 123 157]
 159]

HULL ST.

9

HUNTER ST.

4
 6

JAMES ST.

3 6 11
 8 22
 10]
 12]

JOHNSON ST.

39

KENT ST.

St. James Catholic Church
 St. James Church Hall
 35 72 175
 37 86
 59 97

LAITY ST.

17
 LENNOX ST.
 64 174 220
 66 184 227
 128 198 229
 138 203 254
 148 205 272
 154] 206 275
 156] 217 315
 162

LESLIE ST.

3 16

LESNEY ST.

20 24 30

LINCOLN ST.

23

LORD ST.

Metropolitan Fire
 Brigade
 160] 164]
 162] 166]

LOUGHNAN ST.

12

LYNDHURST ST.

84 88

MADDEN GVE.

22] 26 76
 24] 28]
 30]

MALLESON ST.

2 8] 21
 3 10]

MANTON ST.

12

MARY ST.

20 145] 230
 21 147] 234
 43 149] 240
 151] 276
 153]

MELROSE

6

MILLER ST.

22

MOORHOUSE ST.

3 11]
 13]
 15]

MUIR ST.

9 18

MULBERRY ST.

3

MURPHY ST.

1 3 28

5

NEPTUNE ST.

27 (former Alcock's
 Power Station)
 89

NEWRY ST.

22

NORMANBY PL.

16 18

PALMER ST.

7

PARK AVE.

4 18 22]
 12 24]
 26]

PARK GVE.

6

PARKER ST.

7] 11]
 9] 13]

PARKVILLE ST.

19] 23] 27]
 21] 25] 29]

PEARSON ST.

1 10

PEERS ST.

2 18]
 20]

PUNT RD.

233 263 307]
 235] 283 309]
 237] 293 311]
 239] 299 327]
 241 301] 395]
 247 303] 397]
 419]
 421]
 469]

RICHMOND TCE.

5 49 83
 41] 51 84
 43] 55 87
 45] 76] 106
 47 78] 111

RIVER ST.

J. Kennon & Sons

ROGERS ST.

1] 5]
 3] 7]

ROONEY ST.

28

ROSE ST.

4 7 11

ROTHEWOOD ST.

5 19] 34
 7 21] 37
 23] 48]
 20 50]

ROMENA PDE.

36 74] 81]
 50 76] 83]
 56 78] 85]
 58 80] 87]
 97
 102

SHELLEY ST.

41

SHERWOOD ST.

3 4]
 6]

SMITH ST.

33

SOMERSET ST.

1 14 116
 3] 24 150
 5] 37

STANLEY ST.

60

STAMELL ST.

2 197] 201
 141 199] 203

SWAN ST.

Burnley Railway Siding

1 164 319]
 34 166 321]
 67] 173 365
 69] 178] 413]
 94] 180] 415]
 96] 198] 505
 98] 200] 517
 95] 219 521
 97] 224 523]
 102 226 525]
 126 228 527]
 128] 230 529]
 130] 254 531]
 132 258 533]
 134] 270]
 136] 272]
 138] 293]

TANNER ST.

28 68

UNION ST.

11 23] 29]
 13 25] 31]
 27]

VICTORIA ST.

88] 118] 322]
 90] 120] 324]
 94 316 326]
 96] 318] 380
 98] 320] 524

WALTHAM PL.

39]
 41]

WELLINGTON ST.

44

WILTSHIRE ST.

1

WHITE ST.

23] 29] 37]
 25] 31] 39]
 27] 33] 41]
 35]

YARRA ST.

6

3.4.4 D BUILDING INDEX

ABINGER ST.

3] 29 58
 5] 30] 61
 14 32] 61A
 15 34] 64
 17 36] 66
 19 38] 68]
 21 40] 70]
 23] 42 76
 25] 46 80
 27 55

ADAM ST.

1] 28 40]
 3] 32 42]
 2 36] 44]
 21] 38] 50
 23] 37 56
 22 39 60
 25]
 27]

ADELAIDE ST.

Factory Cnr. Chestnut St.

ADOLPH ST.

2 Factory

ALFRED ST.

1 5 14
 2 9]
 4] 11]
 6] 13]

ALLOWAH TERRACE

2] 6] 10
 4] 8]

AMSTERDAM ST.

4 27 33
 6 29 35
 7 30 37
 13 31 39
 21 32] 41
 23] 34]
 25]

APPLETON ST.

2] 22 58]
 4] 35 60]
 6] 36 62]
 16] 38 64]
 18] 57 66]
 17 68]

BAKER ST.

15 45] 68
 17] 47] 70
 19] 49 75
 21 54] 76]
 23] 56 78]
 25 58 80
 27 60 82]
 31] 62 77
 33] 64] 87
 35 57] 91
 37] 59] 93
 39 61 95
 43 65
 44 66

BALMAIN ST.

Bryant & May Club House
 Rosella Factory
 Cnr. Stephenson St.
 Shop Cnr. Cubitt St.

9] 46] 98A]
 11] 48 100]
 13 50 102
 40] 52 104]
 42] 54 106]
 44] 56 108]
 43 58] 124
 45] 79
 47] 86

BANK ST.

5 12 21]
 6 13 23]
 8 14 37]
 11 15 39]

BARKLY AVE.

Richmond Abattoir
 Killing Rooms
 3 11 149]
 5 13 151]
 7 15 215

BELGIUM AVE.

23

BELGRAVIA ST.

7

BELL ST.

1 20 36
 2 22 37
 4 23 39
 6 24 41
 10 25 43]
 14 27 45]
 16 28 47]
 18 31 49]
 35 44

BELLVUE ST.

2 8 14
 5 9 17
 7 10

BENDIGO ST.

3 55 79
 5 65 82]
 8] 66] 84
 10] 68] 86]
 11 70 87
 13 72] 88]
 15 69 90
 18 71 92]
 20 74 94]
 41 75 96
 43 76 104]
 50 77 106]
 51 78] 108
 52 80]

BENNETT ST.

2 16] 35
 2A 18] 37
 3 17] 38
 4] 19] 40
 6] 20] 41
 5 22] 42
 8 23 43
 9] 26 44
 11] 27] 46
 10 29] 47
 12 30] 48
 13] 32] 49]
 15] 33 51]
 14 34 50

BENSON ST.

1 5
 3 7

BENT ST.

20] 24 28]
 22] 26 30]
 32]

BERRY ST.

1 6] 22]
 3] 8] 24]
 5] 10] 23
 7] 12] 25
 4 14] 26]
 16] 28]
 20 29

BLANCHE ST.

1]
 3]
 5]

BLAZEY ST.

7 23 29]
 13 25] 31]
 17 27] 53
 21

BLISS ST.

1] 5] 9
 3] 7] 10
 2] 6]
 4] 8]

BOLAND ST.

3 13 17
 4 15] 19
 6 10] 21
 7] 12]
 9] 14]
 11] 16]

BOSISTO ST.

1 5 18
 2 7] 25]
 3 9] 27]
 4 12

BOTHERAMBO ST.

19

BOWEN ST.

8] 16 32]
 10] 19 34]
 9 22 33
 14 25] 37]
 15] 27] 39]
 17]

BRADY ST.

4]
 6]

BRIDGE RD.

6] 180 358]
 8] 182] 360]
 10 190 362
 12 192] 364]
 14] 208 359]
 16] 210 361]
 22] 212 363]
 24] 220 365]
 26] 222 366]
 28] 224 367]
 31] 226 394]
 33] 228 396]
 34] 230 401]
 36] 232 407]
 35 234 417
 37 233] 424]

BRIDGE RD. (CONT'D.)

58	235	426
60	237	433
62	239	438
64	244	446
66	255	448
78	257	456
100	259	458
102	266	460
104	268	462
106	272	464
107	274	466
109	276	468
111	280	472
113	282	474
114	284	476
116	286	478
118	298	480
120	308	490
123	308A	492
125	310	494
127	312	498
129	330	500
146	332	502
148	334	506
168	336	508
170	338	510
172	340	527
174	342	615
176	344	642
178	346	
	349	
	352	
	355	
	356	

BRIGHTON ST.

S.E.C. Substation
Cnr. Howard St.

11	113	148
21	115	154
28	117	155
38	119	156
40	121	157
42	114	159
41	116	161
45	122	164
46	124	166
48	126	165
47	128	168
50	130	170
52	123	171
57	125	175
59	127	176
62	129	177
65	131	178
67	133	179
73	135	180
81	137	182
82	139	184
84	141	186
86		

BRIGHTON ST. (CONT'D.)

83	132	181
92	136	185
94	138	187
107	140	188
109	142	189
111	143	191
	144	200
	145	

BROOKS ST.

2	5	
4	8	

BROMHAM PL.

8	19	
---	----	--

BROUGHAM ST.

1	8	18
5	12	20
7	15	21
9	17	23
	19	

BUCKINGHAM ST.

24	82	114
27	83	117
30	83A	118
35	86	119
37	88	121
40	90	124
42	93	126
44	95	128
47	97	130
48	99	131
51	101	133
53	102	134
54	104	135
55	105	136
56	106	139
57	108	149
71	110	162
73	111	164
74	112	170
78	113	

BUNTING ST.

3	48	60
8	50	63
18	51	72
19	52	74
20	54	79
21	53	80
29	55	81
33	56	82
34	58	90
42	59	

BURGESS ST.

4	10	16
6	12	20
8		

BURNLEY ST.

Hotel Cnr. Bliss St.		
Richmond Abattoirs		
Holding Yards		
2	205	302
28	207	310
88	209	311
97	211	313
99	213	315
101	217	317
103	219	318
105	229	320
107	231	322
109	233	326
111	235	328
113	237	330
114	239	332
116	241	334
118	243	338
120	245	340
121	246	345
124	248	347
125	250	349
127	247	351
129	255	353
131	256	355
126	258	357
187	268	359
189	273	361
191	283	363
193	285	365
195	287	367
197	295	370
199	295A	372
201	297	378
198	299	394
198	301	418
	303	
	305	

BUTLER ST.

26	46	56
38	50	58
40	53	60
44	54	62
		64

CAMERON ST.

4	14	32
6	18	35
7	22	37
9	28	39
10	30	41
11	29	43
13		

CAMPBELL ST.

10	18	20
12		22

CANTERBURY ST.

4	32	52
24	34	54
26	38	56
25	44	58
27	46	59
		61

CARROLL ST.

6	17	
8	19	

CHAPEL ST.

12	16	20
14	18	

CHARLES ST.

1	19	35
3	20	41
5	22	45
8	24	47
9	23	51
10	27	53
11	29	55
12	26	61
13	28	65
15	32	67
17	34	73
		75

CHARLOTTE ST.

5	20	35
8	24	36
10	29	38
12	31	40
18	33	42
	34	44

CHESTNUT ST.

1	16	47
3	18	44
5	20	46
6	23	82
8	24	84
7	27	90
9	28	92
11	30	94
10	31	104
12	34	110
13	35	114
15	36	116
17	38	118
19	39	
	41	
	45	

CHURCH ST.

East Richmond		
Railway Station		
5	164	401
9	166	406
11	176	408
13	182	410
15	184	412
17	186	414
18	197	431
23	217	453
25	237	455
59	239	457
63	241	458
65	243	460
67	245	462
69	247	464
85	249	476
97	251	480
99	258	482
101	260	487
103	266	489
105	267	491
107	286	518
109	288	525
115	290	527
127	299	539
129	311	577
133	318	579
137	320	609
141	323	650
143	385	
145	386	
	388	
	390	
	392	
	395	
	398	

CLIFTON ST.

7	31	40
17	33	42
18	36	50
19	37	54
23	39	54A
28A	41	60
30		66
32		

COLE ST.

1	2
3	4
5	6
7	8

COPPIN ST.

Church of Christ		
5	95	178
7	97	180
6	101	184
6A	106	186
11	107	188
15	108	190
33	110	189
35	113	191
43	116	192
47	118	194
48	117	193
50	119	196
52	121	198
54	120	200
56	122	202
58	124	204
60	126	210
62	128	213
63		
64	130	214
65	132	216
70	134	218
72	136	229
73	127	231
74	133	239
76	135	241
75	138	243
77	141	247
78	145	251
80	146	257
82	148	259
84	151	261
83	152	263
87	154	265
89	158	267
88	163	275
90	165	277
92	170	279
91	171	281
93	173	283
	174	285
	176	291

CORSAIR ST.

2	15	26
4	17	28
8	18	34
9	20	35
11	21	42
14	22	
16	24	

COTTER ST.

3	12	30
5	14	32
7	16	33
9	18	34
11	22	36
13	23	35
4	25	37
6	27	38
8	28	41
10	29	

CREMORNE ST.

2	76	137
4	86	139
5	88	141
10	92	143
9	92A	145
11	101	147
20	106	149
22	108	151
48	110	
74		

THE CROFTS

3	9	24
4	11	27
6	14	28
8	16	30
10	18	
7	22	

CRIMEA ST.

2	7	12
3	9	14
5	8	15
4	10	16
6	11	18
	13	

CROWN ST.

2	18	29
6	19	37
10	20	39
14	22	41
16	24	
	26	

CUBITT ST.

1	106	161
8	108	163
10	112	165
21	123	169
23	125	170
25	127	171
27	129	173
29	131	175
31	142	177
33	144	179
30	146	181
34	148	182
36	150	184
38	152	185
48	154	186
72	155	188
74	157	190
78	159	189
80	160	192
82		194

CUTTER ST.

2	17	48
4	20	50
6	22	51
8	23	56
10	24	61
9	26	62
12	28	72
14	33	73
13	35	74
16	42	75
18		77

DANDO ST.

2		
3	13	
	15	

DARLINGTON PDE.

3	13	
	15	

DAVISON ST.

3	29	50
5	31	52
10	35	55
11	37	56
13	38	58
12	40	60
14	42	62
18	41	64
22	43	66
25	44	78
27	46	80
	48	81
	49	

DERBY ST.

4	10	
6	12	
8	14	

DICKENS ST.

4	13	19
	15	21
	17	

DICKMANN ST.

3	7	11
	9	12
		14

DOCKER ST.

8	19	44
10	21	48
12	23	65
14	28	67
16	29	72
18	31	74
17	39	
	41	
	42	

DOVER ST.

S.E.C. Substation
 7 49] 117
 11 51] 121
 12] 57] 136
 14] 59] 138]
 13] 61] 140]
 15] 71] 142]
 17] 77] 143]
 19] 79] 144]
 21] 99] 145]
 18] 110] 147]
 20] 112] 149]
 28] 114] 153]
 37] 116] 155]
 39] 118] 171]
 181
 199

DUKE ST.

6] 44] 68]
 8] 46] 70]
 10] 50] 72]
 12] 54] 74]
 7] 56A] 71]
 13] 59] 83]
 15] 61] 84]
 14] 63] 86]
 28] 62] 87]
 30] 64] 91]
 32] 66] 93]
 97

DURHAM ST.

1 14 25
 3 22 27
 4 23 28
 6 24] 29
 12 26] 33

EDINBURGH ST.

7] 48] 68
 9] 50] 69
 16] 52] 70
 18] 49] 72]
 19] 51] 74]
 21] 54] 76]
 26] 56] 78]
 35] 59] 80
 36] 61] 83]
 43] 63] 85]
 45] 64] 87]
 47] 65] 89]
 46] 67]

EGAN ST.

2] 38 75
 4] 41 77
 3] 43 81
 5] 47 82
 6] 49 83
 7] 53 84
 8] 59 85
 13] 63 86
 15] 67 87
 25] 69 88
 27] 71 99
 29] 73 93
 31] 95
 37]

ELIZABETH ST.

14 59] 80
 28] 61] 82]
 30] 62A] 84]
 34] 66] 88]
 36] 68] 89]
 38] 73] 90]
 42] 76] 91]
 44] 78] 96]
 46] 79] 98]
 51] 81] 100]
 83] 102A]

ELLIS ST.

2
ELM GVE.
 1 15 34
 5A 18 36]
 7 22 38]
 10 23 42
 14]

ERIN ST.

3 55 81
 5] 59] 83]
 7] 69] 85]
 9] 71] 87]
 11] 73] 89]
 13] 75]
 34 77]

EUCALYPTUS ST.

1 3
 2 5]

EUREKA ST.

6 16] 20]
 10 18] 22]
 14]

FARMER ST.

8 32] 56
 9 34] 58
 10 36 60
 11 42 62
 12 44 64
 15 48
 31 54]

FORDHAM COURT

1] 6] 13]
 3] 8] 14]
 2] 9]
 4] 11]
 5] 10]
 7] 12]

FRANCIS ST.

1 9 15
 5 11 17
 6 12
 7 13]

FRASER ST.

1 33 55]
 3 34 57]
 13 36 59]
 16 38 61
 18] 39 63
 20] 40 64
 21 42 66
 22 45 67
 23 46 68
 25 48] 71]
 27 50] 73]
 29 52 72
 31 54 76
 32 56] 78]

GARDNER ST.

3 43] 63]
 4 45] 65]
 8] 47] 67]
 10] 49] 69]
 12] 48 70
 14] 50 71]
 16] 51 73]
 18] 52] 72
 27] 54] 74]
 28] 53 76]
 32] 55 75]
 34] 56] 77]
 36] 58] 78]
 37] 60 80]
 38] 62 79]
 39] 64 81]
 41] 66 83]
 40] 63] 85]
 42] 65] 84
 44] 86]
 46] 88]

GARFIELD ST.

4 40 53]
 24 50 55]
 38 51 57]
 39] 59]
 41] 71]

GEORGE ST.

2 7] 15
 4 9] 17
 5 8]
 10]

GIBDON ST.

5 25 44
 7 28] 50
 11 30] 51
 15 32 62
 17 33 64
 19 34 66]

GIPPS ST.

2 12 21
 7 14 33
 9 16 43
 10 17 45
 11 19]

GLASS ST.

22 31] 39]
 29 33] 41]
 35] 43]
 37]

GLASSHOUSE ST.

1 3]

GOODWIN ST.

7 9 11]

GOODWOOD ST.

2] 14 26A]
 4] 18 28]
 3 20 28A]
 5 22] 30
 7 22A] 32
 8] 23A 34
 10] 23B 35
 11 24] 36
 13] 24A] 37
 15] 26]

GOUGH PL.

1] 7] 15
 5] 9]
 11]
 13]

GORDON ST.
 1 8] 15
 2] 10] 16
 4] 11] 20
 6] 13]

GRATTAN PL.
 7] 10] 21
 9] 11] 23
 8] 13]
 15]

GREEN ST.
 Sheds Cnr. Electric
 Lane
 5 32] 55
 6] 34] 57]
 8] 33] 59]
 7 36] 61]
 9 38] 60]
 10] 40] 63]
 12] 42] 65]
 11 37] 67]
 17 39] 69]
 18 41] 66]
 19] 46] 73]
 21] 47] 81]
 20] 48] 95]
 22] 52] 97]
 23 53]
 24] 54]
 26] 56]
 28]
 30]

GRIFFITHS ST.
 15 23
 19

GWYNNE ST.
 44 124
 122 128

HARCOURT PDE.
 Factory

HIGHETT ST.
 1A 92 277
 5 94 295
 21 96 301
 22] 112] 305
 24] 114] 308]
 26] 116] 310]
 28 118] 314
 29 124] 316]
 30 128] 318]
 32 130] 320
 36 134] 324
 38 136] 326
 40] 138] 333
 42] 141] 334]
 336]

HIGHETT ST. (CONT'D.)
 47] 143] 338
 49] 145] 340
 48 147] 342
 50 148] 344
 56 150] 346
 58 149] 350
 62 151] 352
 64 152] 354
 72 153] 356
 74] 155] 359
 76] 158] 363
 77 160] 365
 78 162] 367]
 79 185] 369]
 80 187] 370
 82 189] 372
 85 199] 373
 86] 215] 389]
 88] 217] 391]
 87] 233
 89 243
 91 245
 93 249
 95 253
 97 267
 99] 271

HIDDLE ST.
 17 63] 125
 29 65] 127
 31] 83] 129
 33] 85] 169
 57] 89] 175
 59] 95
 61] 97
 101

HODGSON TRCE.
 3] 8] 16]
 5] 10] 18]
 7] 11] 23]
 9 13] 25]
 6 12] 27
 14]

HOLLICK ST.
 1] 4]
 3] 6]
 5] 8]
 7] 10]

HOSIE ST.
 5 9 15
 7 11 17
 8 13
HUCKERBY STREET
 35]
 37]

HOWARD ST.
 11] 15] 21
 13] 17]

HUNTER ST.
 2 32 60]
 3] 33] 62]
 5] 34] 75]
 8 41] 77]
 10] 43] 79]
 12] 45] 78
 11 47] 80
 15 49] 83
 16] 44] 84
 18] 46] 85
 24 48] 87
 27 52 100
 28] 54]
 30] 58]

HULL ST.
 5] 16] 22
 7] 18] 23
 21 26

JAGO ST.
 5] 9
 7]

JAMES ST.
 4 5
 7

JESSIE ST.
 2] 18] 52
 4] 50]

JOHNSON ST.
 1] 12] 28
 3] 17] 29
 5] 19] 31
 7] 19A] 35
 6] 21] 37
 12] 23] 40
 9 25] 41
 11] 26] 42
 13] 27] 44
 15]

KELSO ST.
 2 11 21]
 3 13 23]
 4 14] 24
 5 16] 25
 7 15 28
 8 17] 30
 10 19] 33

KENNEDY ST.
 1] 2]
 3] 4]
 5] 6]
 7] 8]

KENNY ST.
 2 4

KENT ST.
 10 78] 116
 17 80] 119
 20 82] 120
 22 84] 122
 23] 77] 124
 25] 81] 125
 29] 87] 132
 31] 88] 134]
 33] 89] 136]
 32 90] 141
 39] 92] 143
 41] 94] 144
 42 95] 147]
 50 104] 149]
 56 108] 150
 60 110] 152
 68 111] 154
 70 112] 156
 73 114]
 74] 113
 76]

KHARTOUM ST.
 1 9 23
 3 11 25
 5 12 31
 7 17

KING ST.
 1] 5] 9
 3] 7] 11]
 13]

KINGSTON ST.
 14 16

KIMBER ST.
 4 9 15
 5 10 16
 7 12
 8 14

LAITY ST.
 3 51 73
 14 53 76
 18] 55] 85
 20] 56] 86]
 27 59 88]
 34] 70] 96
 36] 71]
 49 72

LAMBERT ST.

3 12 24
9 18A 26
11 18

LEEDS ST.

4

LENOX ST.

Shop Cnr. Rowena Pde.

10 124] 256]
12 126] 258]
18] 132 260
20] 140] 276]
46] 142] 276A]
48] 141] 278
62 143] 284]
68] 145 286]
70 149 288
72] 150] 290]
74 152] 292]
76] 151 294
78] 153 296
80 158 298
84] 160 300]
86] 161 299]
90] 169 301]
92] 170 302]
94] 171 304]
96] 172 303]
100] 186] 306]
102] 188] 308]
104 222 310]
106 232] 311
108] 234] 312
112] 236] 314]
114 240 316]
116 245] 317
118 247] 318]
120 250] 320]
122] 252] 321]
323]
325]
327]
322

LESLIE ST.

1 22] 36
4 24] 38
8 23 39
10 25 40
11 26] 43
13 28] 44
14 30] 45
17 27 46
18 29 47
19 31 49
21 32 50
33 51

LESNEY ST.

12 28 32
14

LINCOLN ST.

22 63] 67
39 65] 71
47 48] 76
49 50] 79
53] 54 81
55] 56 82
57 58 84
59 60 86
61] 62] 88
64 90

LITTLE LESNEY ST.

Warehouse

LORD ST.

36] 86 120]
38] 87 122]
46 89 127
49 90 129
57 91 137
61 92] 139
65 94] 141
66 97] 158
67 99] 163]
68] 107] 165]
70] 109] 167
72] 111 168
85 112 172

LOUGHNAN ST.

1 4 8
2 6

LOYOLA GVE.

4 14] 28
6] 16] 34
8] 20 36
10] 24 38]
12] 40]

LYNDHURST ST.

10] 30] 55
12] 32] 61
14] 34] 63]
16] 36] 65]
11 38] 67]
13 31 69
15 40] 74]
19 42] 76]
21] 44] 78
23 46 80
25 48 82
27] 50] 86
28 49]
51]
53]

MCGOUN ST.

1] 5
3]

McKAY ST.

2 4] 11
6] 12
8] 13
10

McKENZIE ST.

50

MADDEN GVE.

Richmond Abattoir

1] 16 46]
3] 32] 48]
5] 34] 50
7] 36] 84
9] 38] 86
11 40] 94
13] 96
15]

MALLESON ST.

1 13] 23]
4 15] 25]
5 16] 24
6 18] 26]
9 17 28]
11 19
12 20]
22]

MANTON ST.

1 6 22
2] 7 28]
4] 15 30]
5 17

MARY ST.

3 64 175
4] 66 177
6] 70 183
8] 72 186
10] 76 188
5 78 192
7 79] 200
9] 81] 210
11] 83] 212
13] 85] 226
16 106 242
18 114 248]
22 122 250]
24 124] 252
27 126] 254
29 132 255
36 134 257]
38 138 259]

MARY ST. (CONT'D.)

44] 139 268
46] 140 270
48] 141] 272
47 143] 274
58 150 278
60 152 280
62 155] 290
63] 157] 292
65] 161 300
67] 162 302
69] 165 308
71] 167 310
73] 170 312
75] 172 320
77] 174] 332]
176] 334]
344

MELROSE ST.

1 7 13
2 8 14
4 10
5 12

MILES ST.

2] 3 14]
4] 10] 16]
6] 12] 15
8]

MILLER ST.

3 17 25
10 18 27
13 20
15 24
16

MITCHELL ST

1] 5] 9]
3] 7] 11]
2] 6] 10]
4] 8] 12]

MONTGOMERY ST.

1 9
5 17

MOORE ST.

1] 6] 13]
3] 8] 15]
2] 9] 14]
4] 11] 16]
5] 10]
7] 12]

MOORHOUSE ST.

1 10] 18]
7 12] 20]
8 14
9 16]

MUIR ST.

1 8 14
3 10 15
5 12 16
7 13 20

MULBERRY ST.

5 11
8 12
10 14

MURPHY ST.

7 25 39
9 27 41
11 29 43
12 30 45
13 33 44
14 37 46
15 38 48
18
20

MURRAY ST.

1 5 9
3 7 11

NEPTUNE ST.

4 45 72
8 47 74
10 52 76
22 54 78
24 56 80
25 58 83
26 64 85
28 67 87
30 69 90
32 70 92
34 71 95
36 73
38 75
40 77
42 79
44 81
46

NEULANDS ST.

1 2 9
3

NEWRY ST.

1 9 16
2 11 18
3 13 19
4 15 23
5 17 26
6 12

NORMANBY ST.

6 12 14
8
10

NORTH ST.

5 15 25
7 17 27
9 19 31
11 21 33
13 18 38
12 22 42
24 48

PALMER ST.

2 45 63
4 49 65
23 51 67
25 55 69
29 57 113
37 57A 115
43 59 117
61

PARK AVE.

8 10

PARK GVE.

8 20 36
10 22 38
12 24 40
14 26 42
16 28 46
18 30 48

PARK ST.

1 6 15
3 8 17
5 10 18
7 12 21
14 24

PARKER ST.

1 4 15
2 6

PARKVILLE ST.

4 24 35
6 26 36
8 28 37
10 30 40
12 32 42
14 31 44
16 34 46
18 48
20
22

PEARSON ST.

3 8 18
5 11 20
4 13

PEERS ST.

4 24 40
6 28 46
12 30 48
14 32 52
16 22 54

PRINCE PATRICK ST.

1 5 10
2 6
8

PRINCESS ST.

10

PUNT RD.

207 277 383
209 279 385
211 281 387
219 305 413
223 315 415
227 317 417
229 319 427
243 321 429
245 323 431
249 325 433
253 375 435
265 377 437
267 439
273 441
275 443
445
447

QUEEN ST.

1 9 12
3 10

RAILWAY PL.

Printers
1
3

REGENT ST.

2 18 78
4 20 80
10 28 82
12 30 84
14 46

RICHMOND TCE.

Cnr. Alfred St.
2 37 103
4 39 105
6 38 104
8 52 109
10 54 112
12 56 113
3 58 114
11 60 115
13 59 117
15 72 119
14 74 116
20 92 118
22 93 120
24 95 125
26 96 127
25 98 126

RICHMOND TCE. (CONT'D.)

28
30
32
34
36

RISLEY ST.

12 22
14 24

RIVER ST.

Ansell former Neptune
Oil Works

ROGERS ST.

8 9

RODNEY ST.

S.E.C. Stores
2 12 48
4 14 54
6 18 56
8 40 58
10 42 60

ROSE ST.

2 6 16
3 9
5 12

ROTHERWOOD ST.

9 30 41
11 30A 43
13 36 45
12 38 47
15 40 49
17 40A 44

ROUT ST.

1

ROMENA PDE.

4 28 66
5 30 69
6 32 77
7 34 79
8 38 82
10 46 84
12 48 86
9 52 88
13 53 90
15 54 92
14 57 94
21 59 99
23 61 101
25 63 103
27 64 105
29 65 107
109

RULE ST.
8

SHAMROCK ST.
1 7 9

SHAW ST.
S.E.C. Substation
2 6

SHEEDY ST.
1 7
5 9

SHELLEY ST.
9] 17] 27
11] 19] 28
13 21] 34
14 23] 36
25] 40
24] 43
26]

SHERWOOD ST.
7 21] 24]
11 23] 26]
13

SMITH ST.
3 16] 27
6] 18] 28
8] 20] 30
9 19 34
10 21 40
11 22] 48
13 24]
15 26

SOMERSET ST.
7 81 125
8] 88 128
10] 91 129
20 95 131]
23 97] 133]
33 99] 134
35 101] 136
38 103] 139]
40] 104 141]
42] 105] 140
47 107] 142
50 106] 143
52 108] 147
54 109 148
55 110 152
57 111] 153
59 113] 154
61 112 155
69] 115 156
71] 118 157
74 120 158]
78] 121] 160]
80] 123]
79 122

STANLEY ST.
2] 23 35]
4] 24 37]
3 25 36
6 26 38
7 27 39
8 28] 42
11 30] 44]
13 29 44A]
16] 31] 49
18] 33] 51]
19 34 53]

STAMELL ST.
6] 72] 126
8] 74] 128
10 73 130
12 75 132
14 76] 148
16 78 150
18 80] 152
20 82 154
22 85] 156
24] 87 158
26 89 170
28 91 172
40 93] 176
42 95] 178
44 86] 180
46 88] 203A
50 96 205]
52] 102 207]
54] 103 209
56] 105 245
56A] 108 249
58 110 251]
60 112 253]
68 116
71 120

STEPHENSON ST.
42] 47 102]
44] 51 102A]
45 84 104]
106]
108

STEMART ST.
3 33] 51
5A 35] 59
9 41] 61
43]

STILLMAN ST.
4 11 24
7 19 25
9 22 28
10 23 30

STRODE ST.
2 7] 10
4 9] 11
6 8 16

SURVEY ST.
3 8 10
7

SUTTON GVE.
1] 11 24
3] 13 26]
4] 16] 28]
6] 18] 30]
8] 20] 32]
10

SWAN ST.
Burnley Horticultural
College Pavilion
5 182] 385]
12 184] 387]
15 191 395
30 193] 409
36] 195 430
38] 197] 447
40] 199] 449
42] 201] 453]
71 202] 455]
73 204] 457]
75 207 462]
77] 213 464]
99 218 466
101 229 468
103] 231 470]
104] 237] 493]
106] 239] 495]
107] 241] 497]
109] 243] 499]
111 246 501
113] 248] 504
115 255 506
117] 256 507
135 257 509]
137] 260] 511]
139 260A] 535
141 262] 539]
143 264] 541]
145] 266] 543]
140] 268] 545
142 265 550
144 267
146] 273
157 301]
163] 303]
165] 302]
168] 304]
170 323]
172] 325]
174 344
175] 350
177
179]

TANNER ST.
1 37 57
3 43 59
32 45 61
33 51 67
35 53 69

TENNYSON ST.
2

THOMAS ST.
3 10 28]
4 14 30]
5 18] 32]
6 20] 34]
24]
26]

TONKINS LANE
21A

TUDOR ST.
Housing Commission Area

TYPE ST.
1 11 56
1A 25] 61
3 27] 63
3A 31 65
5 33 67
7 39

TYSON ST.
5 7] 13
9]

UNION ST.
1 18] 21
10 20] 22]
14] 24]
16]

THE VAUCLUSE
8 16

VAUGHAN ST.
1

VERITY ST.
14

VICTORIA ST.
60] 136 286
62] 148] 298]
68 150] 300]
70] 152] 302]
72] 158 304]
76 162] 328
78] 164] 344
80] 166] 354]
84] 168] 356]
86] 188 358]

VICTORIA ST. (CONT'D.)

100	190	360
102	192	362
104	194	364
106	196	368
108	206	370
110	208	402
112	210	406
114	212	424
116	264	426
	266	454
	268	456
	270	470
	272	472
	274	
	276	
	278	

WALL ST.

1	17	28
3	19	30
5	10	32
6	12	34
7	14	33
7A	16	35
9	25	37
11	27	39
13	29	43
15	26	

WALTHAM ST.

2	13	24
3	15	26
5	14	27
4	16	29
7	18	31
10	19	33
12	20	
	22	
	21	

WANGARATTA ST.

8	14	17
10		19
12		

WAVERLEY ST.

17	32	
----	----	--

WELLINGTON ST.

4	27	71
7	29	73
9	31	72
8	33	74
11	35	77
11A	37	78

WELLINGTON ST. (CONT'D.)

16	41	79
17	43	81
19	45	83
21	46	85
18	47	87
20	49	89
23	51	91
25	53	93
26	55	80
28	50	82
30	52	84
32	54	86
34	61	88
36	63	90
38	66	92
40	68	94
42		

WELLS ST.

2	5	8
4		

WERTHEIM ST.

3	9	11
---	---	----

WESTBANK TCE.

13	31	39
23	33	41
25	35	43
27	37	45
29		97

WHITE ST.

16	22	28
18	24	30
20	26	

WILLIS ST.

2	10	6
4		8

WOODLAWN ST.

2	4	7
3		9
5		

YARRA ST.

2	15	
8	17	

YORK ST.

1	50	76
3	51	79
10	53	81
34	56	80
39	59	82

YORK ST. (CONT'D.)

40	61	84
42	63	86
44	62	88
46	64	90
41	66	92
43	71	93
45	72	97
48	73	

YORKSHIRE ST.

18	31	41
25	33	43
27	39	45
29		

3.5 RECOMMENDED CONSERVATION CONTROLS

In general, except for a few redeveloped areas, the buildings and streetscapes of Richmond are predominantly Victorian, late Victorian or Edwardian, of relatively varied but unified overall character although with many unsympathetic alterations and intrusive modern buildings.

The corresponding object of these conservation controls is to rectify and prevent intrusive unsympathetic alterations and to ensure that new buildings or additions are designed to complement the character, where identified, of their surroundings. Due to the existing stylistic diversity, however, requirements for the design of infill buildings are relatively free with the main emphasis being on overall scale and suitable materials.

The definition and application of appropriate controls are set out in the following sections.

3.5.1 DEFINITIONS

Works	:	Includes demolition, alterations, additions or streetworks. Maintenance is excluded from this category.
Demolition	:	Complete or partial removal of existing building.
Alterations	:	Changes to existing building including to chimneys, verandahs, doors, windows, roof or wall finishes, fences and paint removal.
Additions	:	Additions to existing buildings or sites including carports, garages, sheds, etc.
Streetworks	:	Includes work to road and footpath surfacing, kerb and channel gutters, street planting, seats, bins, etc.
Maintenance Work	:	Any work done that does not modify or change the appearance of a building structure or decoration including re-painting in existing colours.
Visible	:	Any part of a building that can be seen from the street or from neighbouring side streets, walkways, parks, etc. For example, the roof, front or side elevation of a typical building. For precise definition see Guidelines Section 4.0, figs. 4.20 and 4.21.
Concealed	:	Not visible. For example, alterations to interior or rear of a typical building.

3.5.1 DEFINITIONS (Cont'd)

- Restoration : Returning the existing fabric of a place to a known earlier state. While it may be unreasonable to press for immediate full restoration, all alterations should be in the direction of restoration, and all works that preclude future restoration restricted.
- Conservative : Conservative design (which is applied to additions only) means adopting a 'low-key' design approach in which historic building forms, proportions, colour range and materials are used, but reproduction of traditional decorative work and detailing avoided. The design should honestly admit its modernity, while paying due respect to its environs. See Guidelines, sections 4.4.
- Interpretative : Interpretative design means a looser reference to the architectural traditions of the area, with use of appropriate materials as the prime constraint. Forms and proportions should relate to, but need not exactly follow, those found in the area's historic buildings. Good modern architecture is welcomed. See Guidelines Sections 4.4.
- Innovative : Innovative design refers to consideration of appropriate materials, height and setbacks only. Again, good modern architecture is welcomed.

Refer to Guidelines Section 4.0 for illustration of recommended design approaches.

3.5.2 RECOMMENDED CONSERVATION CONTROLS

A BUILDINGS

- . Planning permit required for all works to A buildings in any location.
- . Demolition and additions not permitted.
- . All alterations, including paint colour schemes to be towards restoration.
- . Advertising signs to be conservative.
- . All applications for works to A buildings on the Historic Buildings Register to be referred to the Historic Buildings Council for approval. Refer to Appendix 5.1 for information on this body.

3.5.2 RECOMMENDED CONSERVATION CONTROLS (Cont'd)

B BUILDINGS

- . Planning permit required for all visible works to B buildings in any location.
- . Demolition not permitted.
- . Visible alterations, including paint colour schemes to be towards restoration.
- . Additions to be concealed.
- . Advertising signs to be conservative.

C BUILDINGS

- . Planning permit required for all visible works to C buildings in any location.
- . Demolition not permitted.
- . Visible alterations to be towards restoration.
- . Visible additions to be conservative and within height limits and setbacks.
- . Advertising signs and paint colours to be conservative.

D BUILDINGS

- . Planning permit for visible works to D buildings only within Conservation Areas.
- . Demolition not permitted within Conservation Areas.
- . Visible additions (see streetscape level, if relevant, for control over additions to D buildings).
- . Advertising signs and paint colour schemes (see relevant streetscape level).
- . Outside Conservation Areas the approaches outlined for C buildings should be encouraged by general planning policies.

LEVEL 1, 2 & 3 STREETSCAPES

- . Planning permit required for all visible works to all buildings.
- . Demolition of A, B, C and D buildings not permitted.
- . Visible alterations to be towards restoration.
- . Visible additions to be conservative and within height limits and setbacks.
- . Advertising signs and paint colours to be conservative.

3.5.2 RECOMMENDED CONSERVATION CONTROLS (Cont'd)

LEVEL 1, 2 & 3 STREETSAPES (Cont'd)

- . New buildings to be interpretatively designed and in accordance with height limits and setbacks.
- . Street works to be towards restoration.

RIVERBANK CONSERVATION AREA (Urban Conservation Areas type 2)

- . Planning permit required for all works in or adjacent to Riverbank Conservation Area.
- . Visible alterations to be towards restoration.
- . Signs and paint colour schemes to be conservative.
- . New buildings to be restricted i.e., limited to as few as possible with controls over appearance, design, etc.
- . Existing streetworks or landscaping to be towards restoration, new streetworks or landscaping to be conservative.

OUTSIDE CONSERVATION AREAS

Outside Conservation Areas, Conservation Controls are mandatory for A, B and C buildings and for buildings that affect a neighbouring A, B or C building or Conservation Area. Controls for these neighbouring buildings are as for buildings in Level 3 streetscapes.

As a general rule, conservation controls will be introduced over those buildings immediately abutting an "A", "B" or "C" building; but additional surrounding buildings may also be included in the controls where individual circumstances make this desirable.

	PERMIT	DEMOLITION	ALTERATIONS	ADDITIONS	PAINT COLOUR	SIGNS		
A BUILDINGS	Required	Restricted	RESTORATION	Restricted	RESTORATION	CONSERVATIVE	All applications affecting buildings on Historic or Govt Buildings Register referred to Historic Buildings Council for approval (see Appendix 5.1)	
B BUILDINGS	Required where VISIBLE	Restricted	RESTORATION where VISIBLE	CONCEALED	RESTORATION where VISIBLE	"		
C BUILDINGS	"	"	"	CONSERVATIVE where VISIBLE & within height limits & setbacks	CONSERVATIVE where VISIBLE	"		
D BUILDINGS	" only within conservation areas	" only within c. areas	" only within c. areas	see streetscape	" only within c. areas	" only within c. areas		
LEVEL 1,2&3 STREETSCAPES	Required where VISIBLE	Restricted for A B C & D buildings	RESTORATION where VISIBLE	CONSERVATIVE where VISIBLE & within height limits & setbacks	CONSERVATIVE where VISIBLE	CONSERVATIVE	INTERPRETATIVE where VISIBLE & within height limits & setbacks	RESTORATION
RIVERBANK CONSERVATION AREA	"	-	"	-	"	"	Restricted	RESTORATION of existing new work CONSERVATIVE
OUTSIDE CONSERVATION AREAS	Permit, DEMOLITION, ALTERATION, ADDITION, NEW BUILDING & STREETWORKS controls only mandatory for A,B & C buildings and for buildings neighbouring AB or C buildings or Conservation Areas							
NEIGHBOURS		Unrestricted	Unrestricted	INNOVATIVE	Unrestricted	INNOVATIVE		

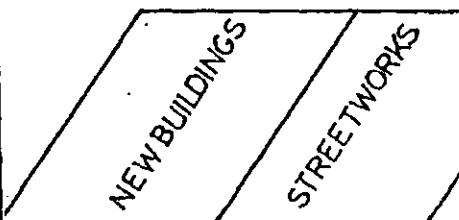


Fig. 3.2 Refer to Guidelines Section 4.0 for Illustration of Recommended Design Approaches

4.0 GUIDELINES

'Historic buildings only impose restrictions when the designers working on them are uncreative and insensitive',¹.

4.1 INTRODUCTION

The purpose of these guidelines is to provide a basic approach to the restoration and alteration of Richmond's historic buildings and to the design of additions and new buildings in the context of Richmond's historic character. These guidelines are essentially in outline only because of the range of building types and historic periods together with the size of the study area. Further detailed information however is readily available in a number of books recently published on the subject of Victorian and Edwardian buildings and their restoration:

- | | |
|--------------------|---|
| Evans, Ian. | <u>The Australian Home.</u>
The Flannel Flower Press, 1983. |
| Evans, Ian. | <u>Restoring Old Houses.</u> MacMillan, 1979. |
| Evans, Ian. et.al. | <u>Colour Schemes for Old Australian Houses.</u>
The Flannel Flower Press, 1984. |
| Forge, Suzanne. | <u>Victorian Splendour, Australian Interior
Decoration 1837-1901.</u>
Oxford University Press, 1981. |
| Stapleton, Ian. | <u>The Old Aussie House.</u> John Fairfax
Marketing, 1983. |
| Tanner, Howard. | <u>Restoring Old Australian Houses and
Buildings. An Architectural Guide.</u>
MacMillan, 1975. |

A detailed bibliography is included at the end of this section for references on all aspects of restoration.

For explanation of the Specific Guidelines made on the Identification Sheets of this Conservation Study refer to Section 4.6.

1. Royal Australian Institute of Architects 1984 Awards
Jury, Architecture Australia. December, 1984.

4.2 BUILDING PERIODS AND STYLES IN RICHMOND

4.2.1 HOUSES

Building construction has reflected Richmond's history from the earliest beginnings. After the recession of the 1840's many houses were constructed, generally in those areas of Richmond closest to Melbourne, so that by 1857 there was a total of 2,161.² Construction continued during the 1860's and 1870's and culminated in the speculative boom of the 1880's when workers' dwellings spread all over Richmond (by 1901 there were 7,908 houses).³ By this stage, however, the earlier Victorian houses were being demolished and their sites redeveloped.⁴

All building work virtually ceased with the massive 1890's depression and by the time the economy had recovered again to boom proportions in the Edwardian period, the appearance of buildings was radically transformed. Much of Richmond's building stock dates from this period.

During the First World War building activity again slackened and after this traumatic time another shift in style had occurred.

The 1920's were also a boom period during which the population of Richmond began to decline as many people moved to the outer suburbs.⁵ Owner occupied residences began to outnumber tenanted residences and many comparatively substantial Californian bungalow houses were built. Industrial development accelerated and in 1922 Industrial Zoning Regulations were introduced in an attempt to order the conflict between residential and industrial use particularly in the north, south and east.⁶

Building activity dwindled again during the depression of the 1930's and the Second World War, after which buildings generally became 'modern' in style. Many houses were also unsympathetically altered in the post war period in an attempt to improve and modernise their appearance. By 1966, after the Edwardian, Inter-War and Post War periods, there were 9,616 houses in Richmond. This number currently stands at 10,279 dwellings, of which 36% are flats.⁷

-
2. Lewis, Nigel. Research Study 1030. Melbourne University.
 3. Richmond News, Census of Victoria 1901, 17th November, 1966.
 4. McCalman, Janet. Struggletown. Public and Private Life in Richmond 1900-1965. Melbourne University Press, 1984. p.12.
 5. Ibid, p.12
 6. Ibid, p.12
 7. Melbourne Statistical Division. Comparative Local Statistics, pp.113, second edition, Melbourne & Metropolitan Board of Works, February, 1983.

4.2.1 HOUSES (Cont'd)

Thus, up to the Second World War, this study's cut-off date, building construction tended to concentrate in five major periods of activity with a notable preponderance of late Victorian and Edwardian buildings.

The dates indicated below, however, are approximate as the styles do not conform with periods exactly and often tend to overlap with transition periods in between where buildings have elements from more than one style:

.	Early Victorian	1839 - 1860
.	Victorian	1860 - 1880
.	Late Victorian	1880 - 1900
.	Edwardian	1900 - 1914
.	Inter-War	1918 - 1939

RICHMOND: EARLY VICTORIAN HOUSES 1839 - 1860.

Symmetry typifies the earliest houses, with a central door and windows to either side. The windows were either double hung or casement or full length French doors, often with multiple small panes. Roof forms were steep gables or hips, sometimes in very short spans, but also in large spans so that the attic room was accommodated within, or partially within, the roof space. Attic windows were therefore also associated with the period (fig. 4.2). Verandahs (although not ubiquitous) were common and often of concave roof form. The typical overall proportion was squat compared to later Victorian buildings (fig. 4.3). Many buildings of this period were prefabricated and were shipped from Tasmania and England.

simple corbelled brick chimneys

slate, metal tiles, corrugated iron or timber shingle roof

ogee or 1/2 round galvanized steel or cast iron gutters



timber, cast iron or no verandah frieze/bracket decoration

square or rectangular section timber stop chamfered posts

bluestone, stucco weatherboard or wide shiplap board walls

timber casement windows or french doors or double hung windows multi-paned

moulded timber or stucco window & door architraves

timber, shaped top picket fence & gate

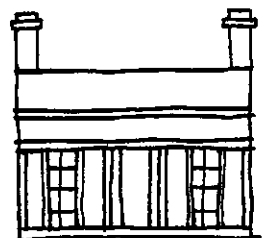
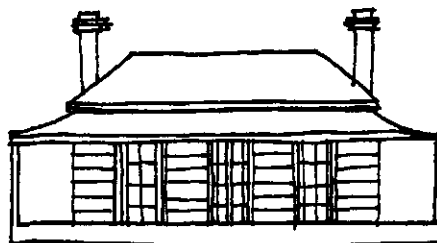
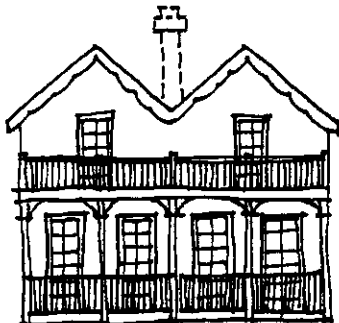
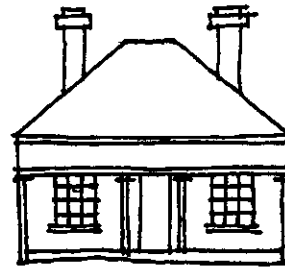
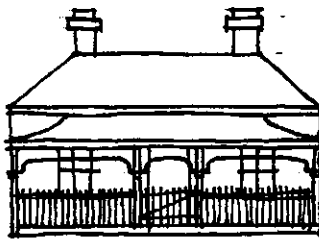
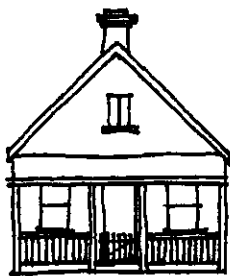


Fig. 4.1 Early Victorian House Types.

RICHMOND: EARLY VICTORIAN HOUSES 1839-1855 (Cont'd.)



Fig. 4.2 Early Photograph of 1840's Cottage, originally located on St. Ignatius site. (demolished)



Fig. 4.3 Alexander McCrae's Residence, originally on corner of Sherwood and Rotherwood Streets. (demolished)

SOME EXISTING HOUSES FROM THE EARLY VICTORIAN PERIOD.

BALMAIN ST.	DOCKER ST.	JAMES ST.	MARY ST.	SWAN ST.
81]	46 47 55	13] 22	230	250 (Hotel?)
83]	ELIZABETH ST.	15]	ROSE ST.	YARRA ST.
CLIFTON ST.	74	LENNOX ST.	4 11	6
26	ELM GROVE	221 (Orwell	ROTHERWOOD ST.	
CUBITT ST.	21	Cottage)	5 7 9 37	
16]	GRATTAN PL.	LESNEY ST.	SHELLEY ST.	
18]	2	30 36	41	

RICHMOND: VICTORIAN HOUSES 1860 - 1880.

Houses of this period are characterised by a limited number of simple elements used in various combinations. Roof forms were either straight forward gables or hips, often hidden by a parapet. Attic rooms were generally no longer constructed. Front verandahs were ubiquitous with straight or concave iron roofs, supported on timber or cast iron posts and decorated in cast iron. Windows were double hung, doors four panel and walls either brick, polychromatic brick, stuccoed brick or weatherboard (square edge or bead edge).

elaborate corbelled
brick or stuccoed
chimneys

corrugated iron
or slate roof

ogee galvanized
steel gutters

cast iron verandah
frieze & bracket
decoration

cast iron or
stop chamfer
timber posts

carved timber
eaves brackets

brick, polychromatic
brick, weatherboard
timber ashlar or
stucco walls

timber double
hung windows

moulded timber
architraves if
walls timber

timber shaped
top picket fence
& gate or iron
palisade

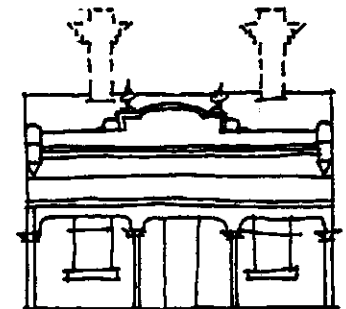
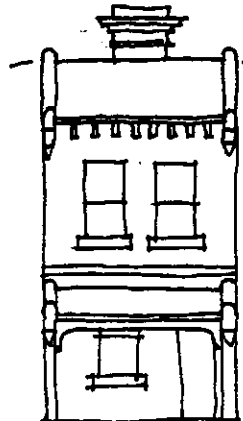
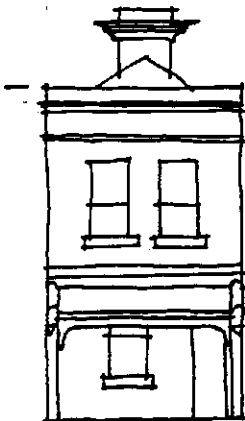
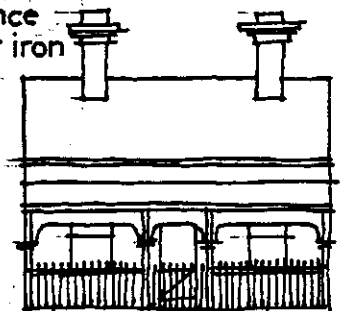
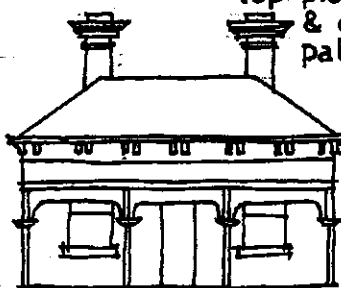
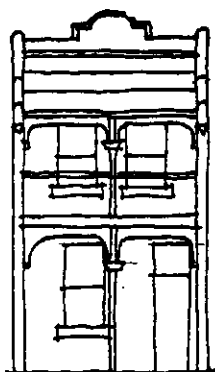
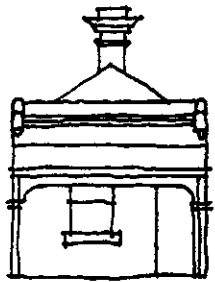
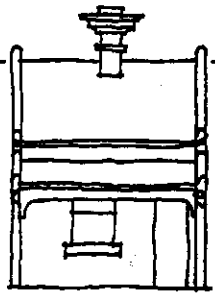
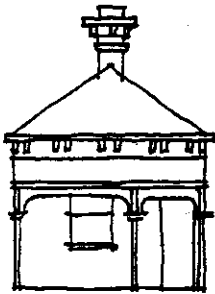
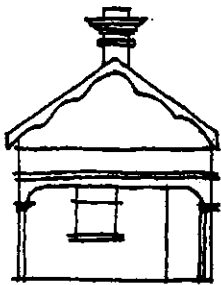


Fig. 4.4

Victorian House Types

RICHMOND: VICTORIAN HOUSES 1860-1880 (Cont'd.)

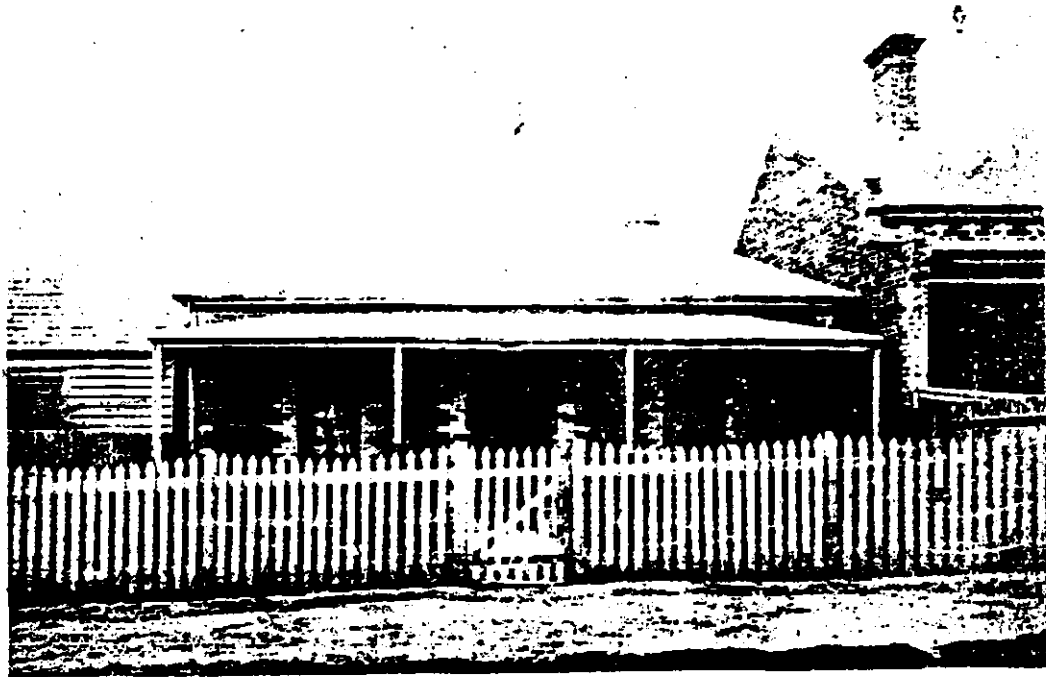


Fig. 4.5 Germania Cottage, 34 Clifton Street.
Monash Family Home 1871.



Fig. 4.6 Typical Victorian Two Storey Terrace Type (Collingwood)

SOME EXISTING HOUSES FROM THE VICTORIAN PERIOD

BUCKINGHAM ST. 38	DOVER ST. 79	FARMER ST. 64	MUIR ST. 18	SOMERSET ST. 79
CHESTNUT ST. 48	EDINBURGH ST. 58] 60]	HIGHETT ST. 60	PEER ST. 4	STANELL ST. 87
CROWN ST. 29	EGAN ST. 33	JOHNSON ST. 39	ROTHERWOOD ST. 48] 50]	TYSON ST. 5
DOCKER ST. 62] 64]	ERIN ST. 51] 53]	LESNEY ST. 24	SOMERSET ST. 14	
		MADDEN GROVE. 76		

RICHMOND: LATE VICTORIAN HOUSES 1880 - 1900

All Victorian building styles continued into the late Victorian period with the principal addition of the two storied arcaded type and of the increasingly popular assymetrical fronted villa with a projecting front room often with a bay window or with the whole projection in a bay form. The front verandah continued in use sometimes with a bullnosed roof instead of the traditional straight or concave form. However this period is characterised by the flamboyant use of classically based ornament of the Italianate style with such distinctive motifs as balusters, swags, rococco shells, urns, balls, vermiculated panels, incised stucco patterns and dentils. Cast iron decoration became more elaborate until the turn of the century when timber decoration began to return to favour. Triple light windows with double hung sashes were very common and walls were generally either polychromatic brick, stuccoed brick or timber ashlar with weatherboard side walls.



elaborate corbelled polychromatic brick or stuccoed chimneys

corrugated iron or slate roof

ogee galvanised steel gutters

cast iron veranda frieze & bracket decoration

usually cast iron posts

carved timber or cast iron eaves brackets

polychromatic brick, stucco or timber ashlar walls

triple light double hung windows

timber shaped top picket or iron palisade fence

projecting front room often with bay form

wing walls common

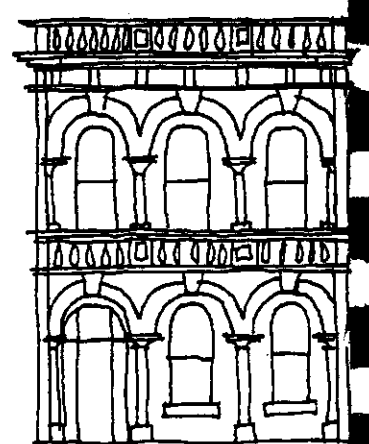
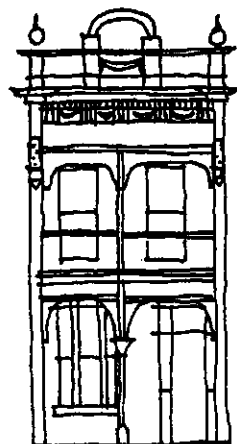
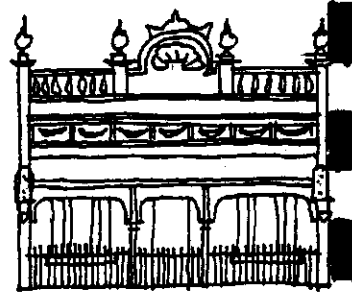
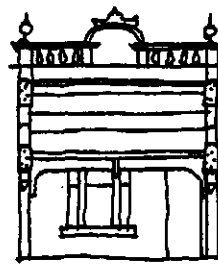
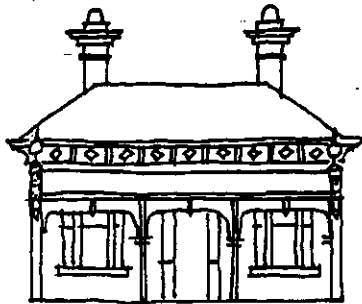
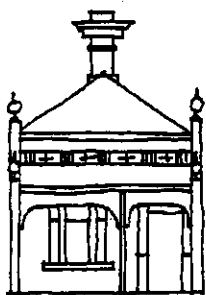


Fig. 4.7 Late Victorian House Types

RICHMOND: LATE VICTORIAN HOUSES 1880-1900 (Cont'd.)

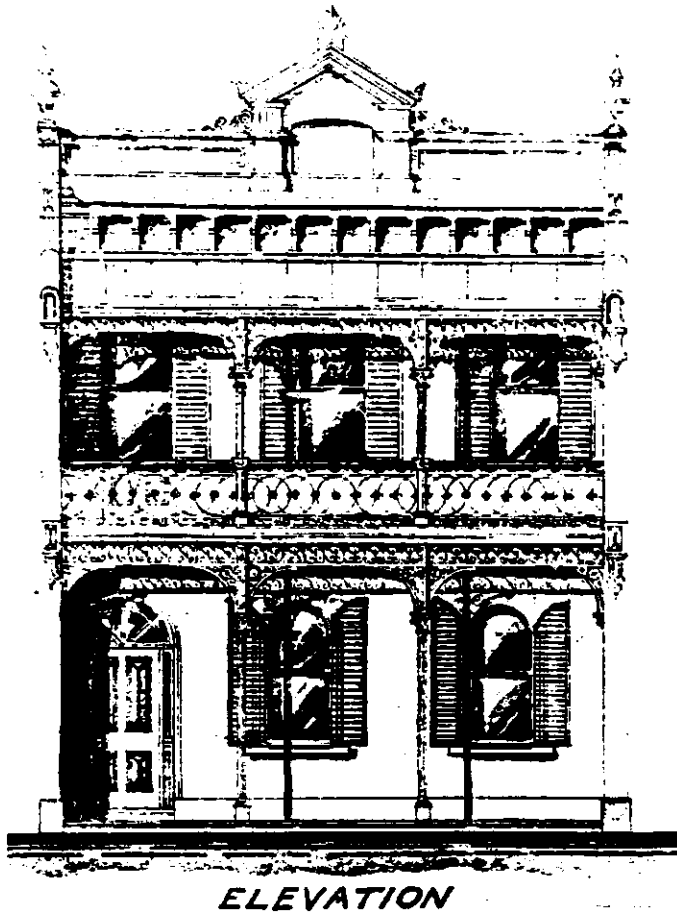


Fig. 4.8 'Casa Santiago' from drawings for residence in Richmond for C. Alke by William Pitt, Architect.



Fig. 4.9 Typical late Victorian Cottage, 87 Stawell St.

SOME HOUSES FROM THE LATE VICTORIAN PERIOD.

BARKLY AVE.
17

BRIGHTON ST.
52 122 }
126 }

CHESTNUT ST.
40

CHURCH ST.
293

CREMORNE ST.
122

THE CROFTS
20

ERIN ST.
6 } 18 26
8 } 20 49
22 67

GARDNER ST.
70

GIPPS ST.
2 11

GREEN ST.
7 73 81
9

HIGHETT ST.
149 243 263
261

HODDLE ST.
'Urbrae'

MARY ST.
63 69 75
65 71 77
67 73

MOORHOUSE ST.
2 }
4 }
6 }

NORMANBY PL.
16

PARK AVE.
22 }
24 }
26 }

SOMERSET ST.
129

UNION ST.
11

WELLINGTON ST.
44

RICHMOND: EDWARDIAN HOUSES 1900-1914

The Edwardian house in Richmond is typically red brick or weatherboard with a red terracotta tile, slate or corrugated iron roof featuring half timbered or timber detailed gables. The front verandah has a bull-nose roof, turned timber posts and timber fretwork or heavy, flat, cast iron decoration. Windows are either paired, narrow and double hung or two, three or four light casement windows with top-lights. Stained glass front doors were also a common feature. When space permitted such as on a corner or on a wide block, gabled rooms projected on both sides, giving a more three dimensional effect.

brick chimneys with corbelled &/or rough cast tops & terra-cotta pots

terra-cotta tiles, slate or corrugated iron roof

ogee galvanized steel gutters

half timbered & rough cast gable

timber fretwork or Edwardian cast iron decoration

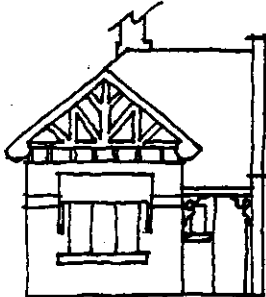
turned timber posts

brick, weatherboard timber ashlar walls

3 casement sash windows with top lights

coloured leadlight glass to toplights, doors & sidelights

square or rounded top timber picket fence



timber & ripple iron awning

shingled weatherboards & timber ashlar dado (hidden by hedge)

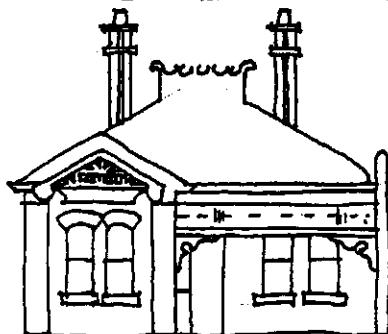
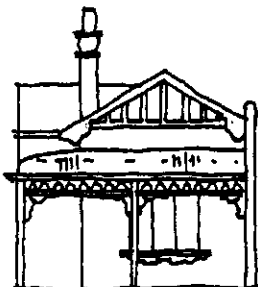
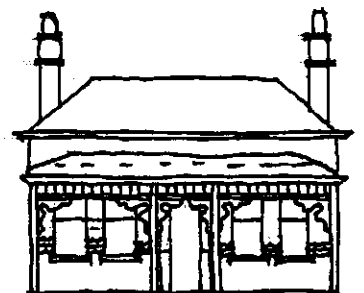
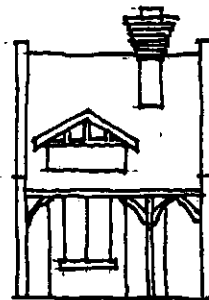
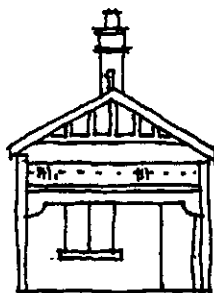
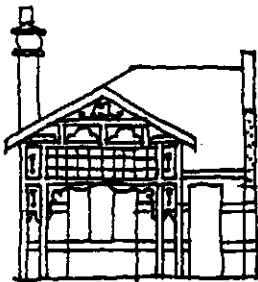


Fig. 4.10 Edwardian House Types.

RICHMOND: EDWARDIAN HOUSES 1900-1914 (Cont'd.)



Fig. 4.11 97 Kent Street



Fig. 4.12 144 Dover Street, 1914

SOME EXISTING HOUSES FROM THE EDWARDIAN PERIOD

BUCKINGHAM ST.	DOCKER ST.	LORD ST.	SUTTON GROVE
42	19]	85 160] 164]	11
	21]	162] 166]	
BURNLEY ST.	GREEN ST.	MARY ST.	SWAN ST.
118]	11	20 21	462] 468] 539]
120]			464] 470] 541]
	HIGGETT ST.	MITCHELL ST.	466] 543]
COPPIN ST.	51 356	9]	
90]	HOSIE ST.	11]	
92]	9		
CUTTER ST.	JOHNSON ST.	MURPHY ST.	
16]	26	15	
18]	KENT ST.	PALMER ST.	
	97	37	
DAVISON ST.			
14 22 41			
19] 35 58			
21]			

RICHMOND: INTER-WAR HOUSES 1918.- 1939

The most common style in this period is the Californian Bungalow. It originated in California and quickly became a popular builders' style. It is characterised by low gables with bracketted and shingled ends, thick masonry verandah piers, plain chimneys, bay windows and clear and coloured leadlighting. Roofs are terra cotta or concrete tiles or corrugated iron, whilst walls are usually roughcast/weatherboard or roughcast/brick.

plain brick chimneys

terra-cotta or concrete tiles or corrugated iron roof

timber shingle &/or rough cast or half timbering

ogee or quad galvanized steel gutters

no applied verandah decoration

brick & tapered rough cast piers

rough cast/brick or rough cast/weatherboard walls

double hung sashes in groups of 2 or 3

square top timber picket or woven wire on timber frame fence



clear glazed leadlight

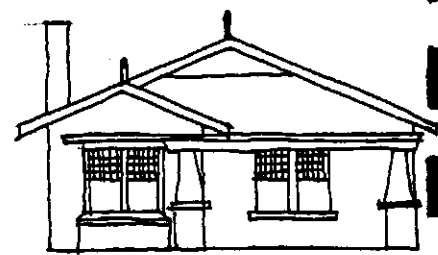
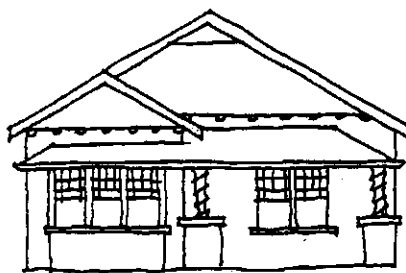
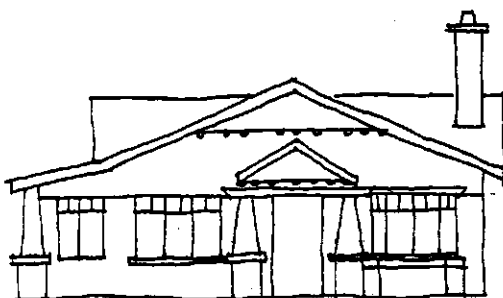
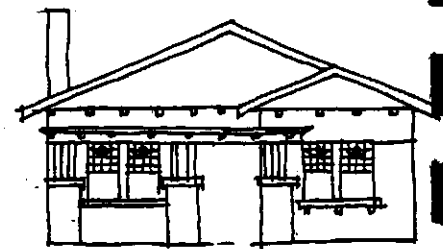
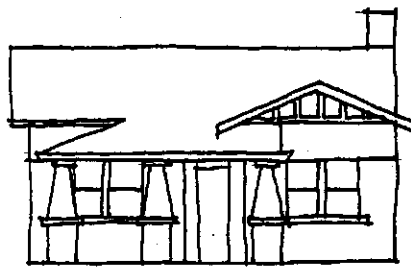
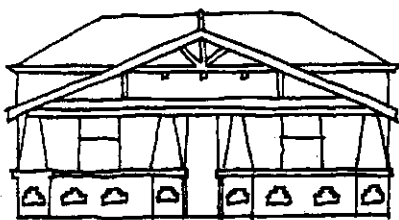


Fig . 4.13 Typical Inter-War Houses

4.3 RESTORATION GUIDELINES.

4.3.1 INTRODUCTION

After decades of neglect, indifference and even hostility there is now a new awareness of the special qualities of Victorian, Edwardian and Inter-War buildings.

Nevertheless, renovations carried out to a building with a misunderstanding of how things actually looked or in accordance with some temporary fashion may detract from the authentic character and reduce rather than enhance its value (fig. 4.15 and 4.16). Houses restored in sympathy with the intentions of the original designer not only avoid spoiling the building but will probably attract a better resale price.

Thus the gradual replacement of timber windows with aluminium windows, the painting out of polychromatic brickwork in the latest fashionable colour, the removal of chimneys, the sandblasting of brick walls, the erection of high obscuring fences, the use of modern ersatz materials such as imitation roofing tiles and fake bricks gradually destroys the character of an area as much as the demolition of an individual significant building.

To successfully restore, it is desirable to have some understanding and knowledge of the style and period of the building before appropriate decisions can be made.

4.3.2 APPLICATION OF RESTORATION GUIDELINES

All visible external alterations to all contributory buildings included under conservation controls are to be towards RESTORATION. See sections 3.5 and 3.6 for Recommended Conservation Controls.

4.3.3 PRELIMINARY STEPS IN THE RESTORATION PROCESS.

Where substantial alterations have occurred, the restorer should consider the following steps before commencing:

- . AN EXAMINATION OF THE PHYSICAL FABRIC: This might be done with a careful investigation of the building, including roof and floor spaces, to answer such questions as: Is all of the existing building original? Have there been any alterations? What period is the building? Has the building been built in more than one stage? Do the original finishes really need to be redone?

- . SEARCHING OUT ORIGINAL OR EARLY DOCUMENTATION: Photographs particularly can be an invaluable resource: "Even if a house is very intact an old photograph or description may prove surprising. It may show missing attachments, such as awnings and blinds, or items removed during maintenance such as chimney pots, cresting, old gutters and so on. It may also show an old colour scheme (albeit in shades of grey), garden arrangement or fence design...."2 (fig. 4.17 and 4.18).

RICHMOND: INTER-WAR HOUSES 1918-1939 (Cont'd.)



Fig. 4.14 California Bungalows, 53 Blazey St. and 156 Kent St.
SOME EXISTING HOUSES OF THE INTER-WAR PERIOD

BLAZEY ST.

53

COLE ST.

1 5 6
3 7 8
2
4

HIGHETT ST.

279

HOLLICK ST.

1 5 6
3 7 8
4 10

KENNEDY ST.

1 5 6
3 7 8
2
4

KENT ST.

152 154 156

MARY ST.

43 234



Fig. 4.15 5, 7 Erin St. 1953



Fig. 4.16 5, 7 Erin St. 1984



Fig.4.17 34 Swan St. c.1900



Fig. 4.18 34 Swan St. 1984

4.3 RESTORATION GUIDELINES

4.3.3 PRELIMINARY STEPS IN THE RESTORATION PROCESS (Cont'd)

This study includes information on individually significant buildings, although the scale of the project precluded detailed investigation. Another source is to establish the name of earlier owners (through a title search) and to track down any descendents who may still have early photographs of the building.

EVIDENCE FROM OTHER BUILDINGS OF A SIMILAR TYPE, PERIOD, STYLE AND LOCATION.

If sufficient evidence cannot be found from the previous two steps then buildings of similar type, period, style and location should be looked at. This is particularly straight forward if the building is part of a terrace or row of identical cottages. Often no one building of a group is intact but, altogether they provide a complete picture.

REFERENCE TO GUIDELINES & RELEVANT BOOKS.

Some general guidance can be obtained on the analysis of building style and the identification of appropriate details in these guidelines. The books listed in the introduction can also be an invaluable source provided interstate, regional and even suburb by suburb variations are kept in mind.

SPECIFIC GUIDELINES.

Specific items have been noted on the identification sheets for each A, B, C or D building in Richmond. Refer to the particular item of Section 4.6 for explanation.

- 4.6.1 Painting and Paint Removal
- 4.6.2 Fake Finishes
- 4.6.3 Windows and Doors
- 4.6.4 Verandahs
- 4.6.5 Fences
- 4.6.6 Carparking
- 4.6.7 Shop Verandahs
- 4.6.8 Shop Fronts
- 4.6.9 Advertising Signs
- 4.6.10 Streetworks



Fig.4.19 Unsympathetic Addition

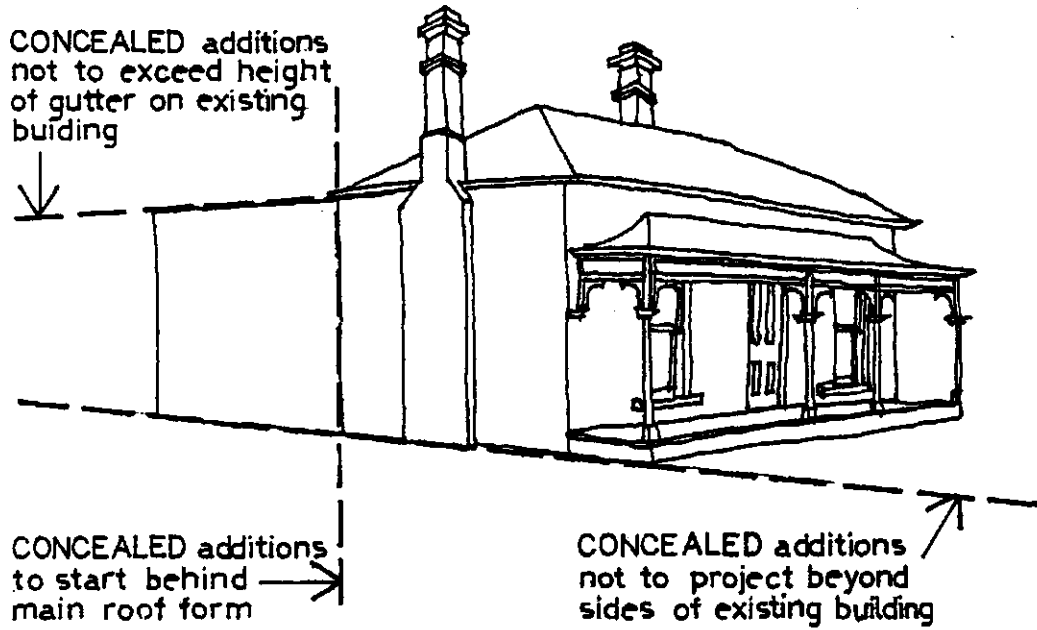


Fig. 4.20 CONCEALED ADDITION DEFINITION

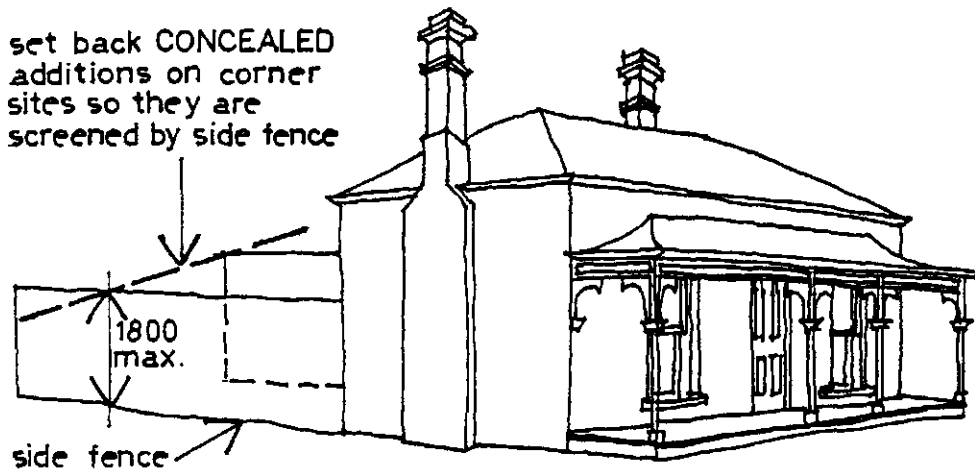
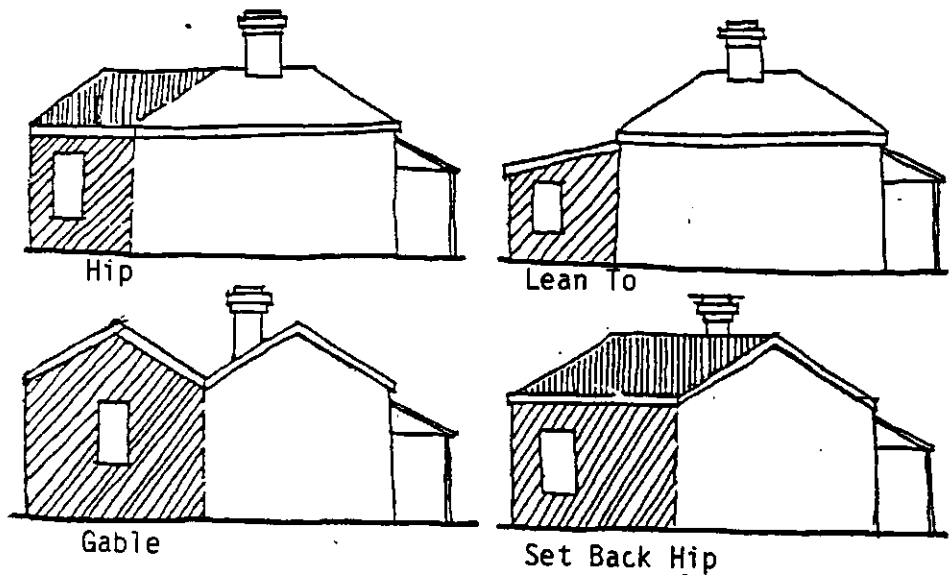


Fig. 4.21 CONCEALED ADDITION DEFINITION FOR CORNER SITE

FORM appropriate to period of house Hip, Gable or Lean-to. Vertical proportions, use of verandahs.

MATERIALS Square edge weather-board face brick (pressed reds) rendered brick, corrugated iron, slate, tile (if building after 1900)



OPENINGS

Windows and door openings relatively small and of vertical proportion

DETAILS

Double hung windows or french doors, ogee gutters and downpipes, plain and panel doors. NO ALUMINIUM LACE OR GLAZING BARS TO ADDITION

Fig. 4.22 CONSERVATIVE Additions to a House.

PAINT COLOURS generally in accordance with recommendations for historic buildings.

FORM Appropriate to period of building. Parapets, steeply pitched roof 30°. Vertical proportions, use of verandahs where applicable.

MATERIALS To match original, corrugated iron, face brick, rendered brick, timber windows to match adjacent buildings.

OPENINGS Window and Door Openings relatively small and of vertical proportion

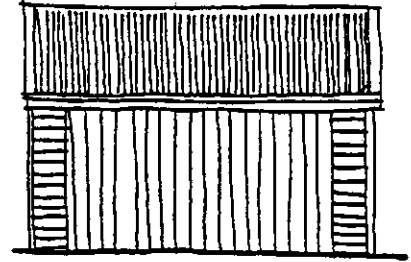
DETAILS Ogee pattern gutters and downpipes. NO ALUMINIUM LACE, GLAZING BARS etc. to ADDITION.



Fig. 4.23 CONSERVATIVE Additions to a Commercial Building, 166 Burnley St.



FORM Gable roof of 25° pitch.
Traverse gable if double car
width required (as below).



MATERIALS Square edge weather-
board, face brick (pressed reds),
rendered brick, corrugated iron,
slate, tiles (if building after
1900).

DOORS Preferably clad in
vertical timber lining boards.

Fig. 4.24 CONSERVATIVELY Designed Garage or Outbuilding,
Dickman St.

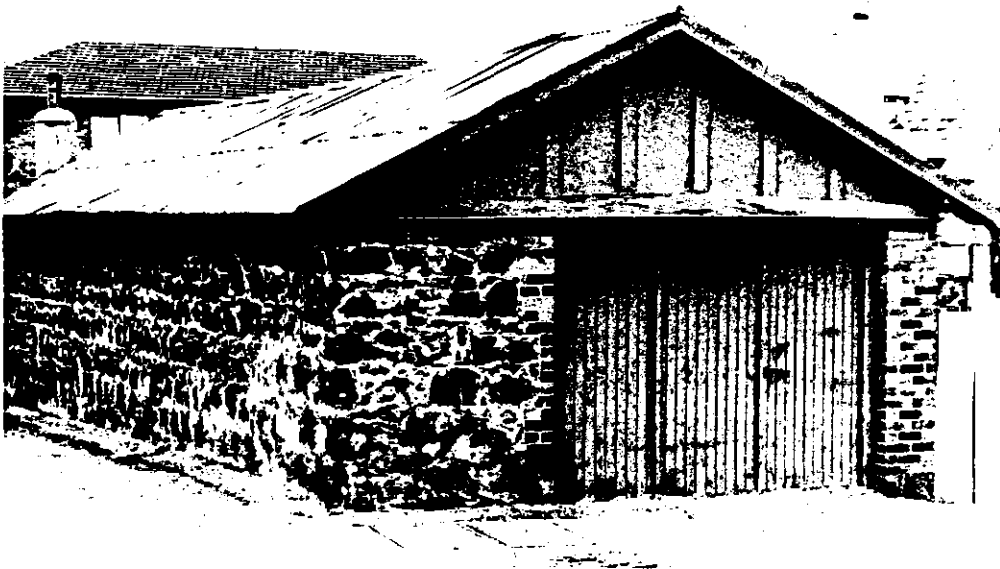


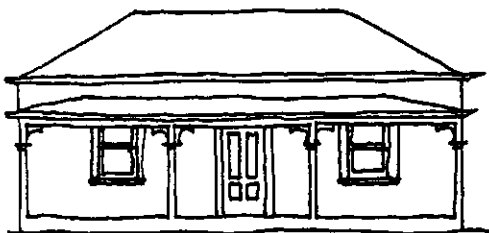
Fig. 4.25 CONSERVATIVELY Designed Garage or Outbuilding,
rear 207 Lennox St.
(Note re-use of earlier bluestone wall.)

VISIBLE additions not to exceed one storey above existing gutter

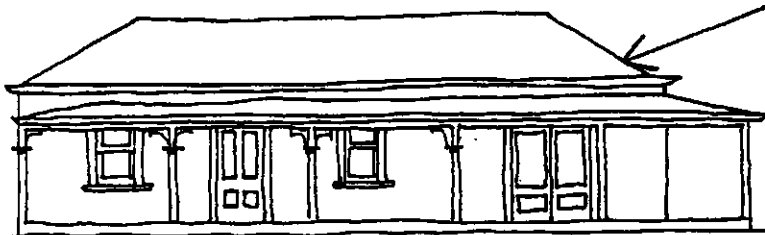
If addition greater in height than original building then set back behind main roof form



Fig. 4.26 VISIBLE REAR ADDITION DEFINITION
185 Burnley St.



EXISTING BUILDING



X INAPPROPRIATE

No setback of VISIBLE side addition confuses & detracts from original facade



✓ APPROPRIATE

appropriate setback of VISIBLE side addition equal to width of verandah (min. 1.5M)

maximum height of VISIBLE side addition equal to existing building

Fig. 4.27 VISIBLE SIDE ADDITION DEFINITION

4.5 NEW BUILDING GUIDELINES

4.5.1 INTRODUCTION

These new building guidelines are included to provide direction for infill development in Richmond. Generally this new development should maintain and, ideally, enhance the existing character of an area, rather than detract from it, which has happened all too often in the past (fig. 4.28, 4.29). Again, the range of different approaches needs to be applied on an individual basis and the benefits of an architectural advisory service for this purpose is recommended.

4.5.2 APPLICATION OF NEW BUILDING GUIDELINES

The recommended design approaches for new buildings in areas or locations included under Conservation Controls are as follows:

- WITHIN CONSERVATION AREAS . INTERPRETATIVE and in accordance with HEIGHT LIMITS and setbacks
- OUTSIDE CONSERVATION AREAS . INNOVATIVE and in accordance with HEIGHT LIMITS and setbacks

See Sections 3.5 and 3.6 for Recommended Conservation Controls.

4.5.3 INTERPRETATIVELY DESIGNED NEW BUILDINGS

Appropriate materials should be used but the overall character of the building is a looser reference to the architectural traditions of the surrounding area (fig. 4.30 and 4.31).

4.5.4 INNOVATIVELY DESIGNED NEW BUILDINGS

This approach applies to new buildings outside Conservation Areas and, essentially, controls materials only, although HEIGHTS and SETBACKS are the same as those recommended for other design categories (fig. 4.32, 4.33).

4.5.5 HEIGHT LIMITS AND SETBACKS FOR NEW BUILDINGS

The HEIGHT of a new building should be equal to the height of neighbouring buildings in the immediate vicinity. This, of course, excludes more recent buildings built without regard to context. This height limit applies to new buildings in Conservation Areas as well as new buildings outside these areas but adjacent to individual A, B or C buildings. Council policy should encourage this approach throughout Richmond.

Generally, SETBACKS should conform with the range of setbacks occurring in the immediate vicinity to avoid disturbing the existing pattern of development. This is particularly important in commercial areas where, in most cases, buildings are built on the street alignment. This requirement applies as for height limits.

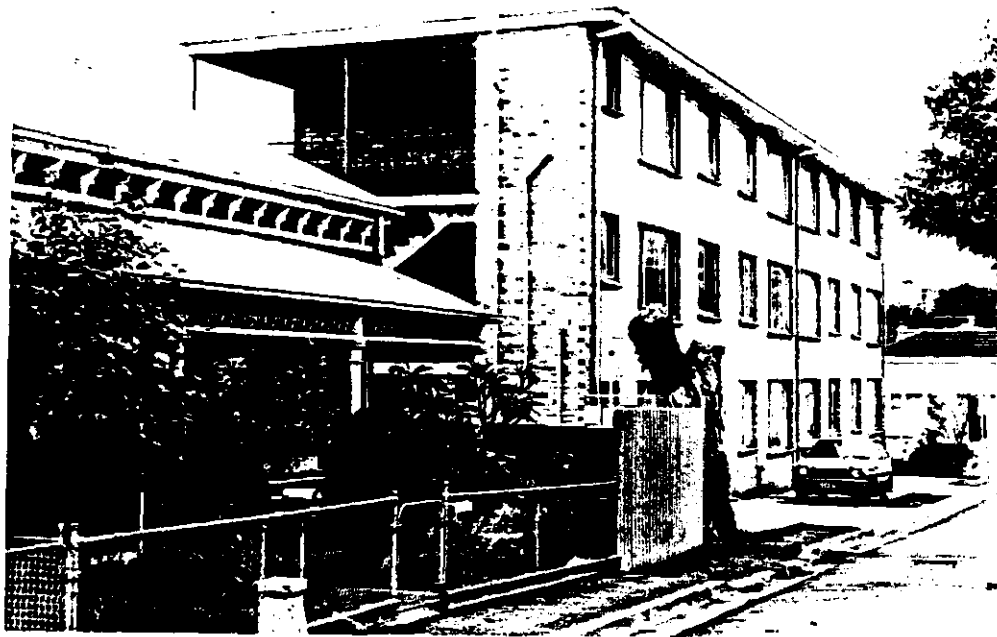


Fig. 4.28 Unsympathetic New Buildings Detract from the character of the surroundings.



Fig. 4.29 New Buildings of INAPPROPRIATE design and height.

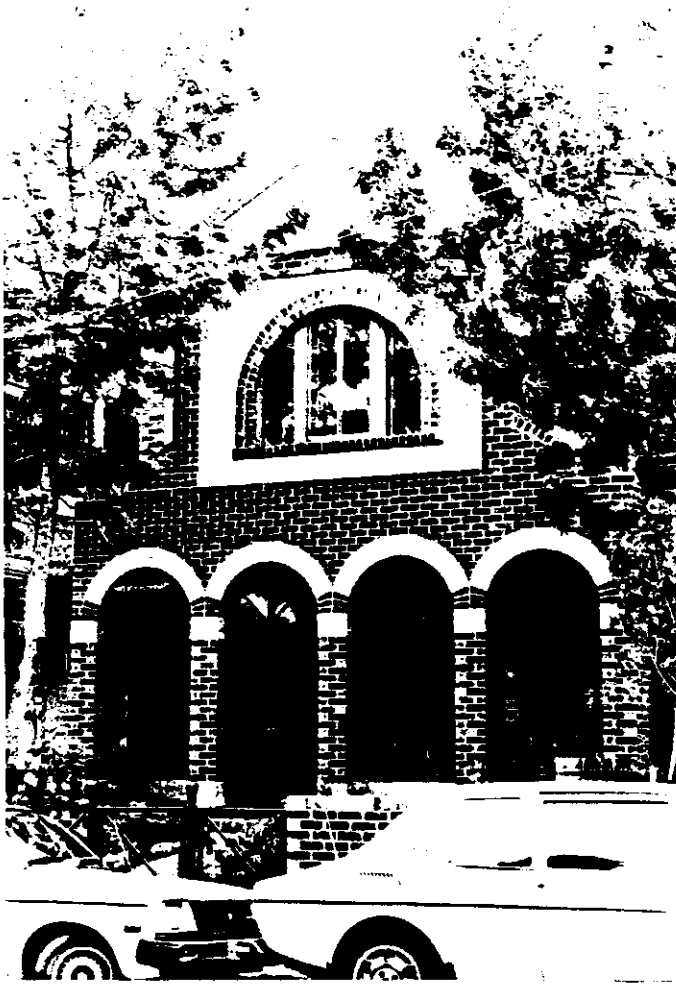


Fig. 4.30 INTERPRETATIVE New Residence
53 Richmond Terrace

FORMS to be similar but used in a varied manner.

MATERIAL Weatherboard, face brick, render, corrugated iron, slate or tiles as appropriate for area.

OPENINGS Similar to those used in surrounding area.

PAINT COLOURS to be within range appropriate for historic buildings, but not necessarily located or juxtaposed the same way.

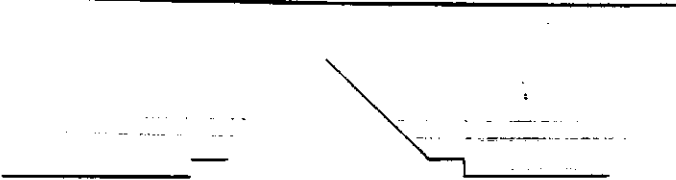


Fig. 4.31 INTERPRETATIVE Commercial Building
Toorak Rd, Toorak Village.



Fig. 4.32 INNOVATIVE New Residence
Richmond Terrace.

MATERIALS Weatherboards, face brick, render, corrugated iron, slate or tiles, as appropriate for area.

FORMS to be similar in scale only to buildings in the surrounding area. For example, new buildings should not have long unbroken facades in an area of single fronted cottages but should be articulated to form a similar pattern.

PAINT COLOUR
Generally only fluorescent and primary colours are unsuitable.



Fig. 4.33 INNOVATIVE New Commercial Building
Burnley St.

4.6 SPECIFIC GUIDELINES

In assessing each building in Richmond for this Conservation Study it became evident that there was a recurring number of problems arising from alterations to exteriors of contributory buildings. This section examines each of the particular problems and includes guidelines for more appropriate alterations.

4.6.1 PAINTING AND PAINT REMOVAL

Generally, original unpainted surfaces should not be painted or, if already painted, paint removal by appropriate methods should be considered. New colour schemes to **VISIBLE** external parts of buildings included in conservation controls to match or be sympathetic to original colour schemes. See Sections 3.5 and 3.6 for Recommended Conservation Controls.

EXISTING UNPAINTED FACE BRICKWORK OR RENDER (also called stucco) is a significant and increasingly rare original feature and should on no account be painted. Not only is the original appearance of the building altered in a way that is extremely difficult and expensive to un-do, but attractive detailing such as in the contrasting cream brick of polychromatic brickwork or the fine lines ruled in stucco to imitate stone are lost. Any wall so painted also becomes an additional maintenance item that requires repainting every ten years (fig. 4.34).

PAINT COLOURS for originally painted surfaces. The appropriate use of colour is an important aspect of the restoration of old buildings. As a result of recent prejudice against Victoriana or a lack of information on what actually existed, most restorers have settled for bland colour schemes or for exotic effects that owe nothing to historic precedent and do little to complement the architecture of the buildings.

Steps to establish a suitable colour scheme:

1. With a sharp blade and paint stripper to soften paint layers, scrape back existing paintwork to reveal original layer.
2. If an early photograph can be located this may assist in at least indicating the tonal range and the locations of light and dark colours.
3. If the building has previously been stripped or burnt back or if conclusive results are unobtainable then a similar building retaining an original colour scheme could be used as a basis (fig. 4.35).
4. One of the recommended texts could be used particularly 'Colour Schemes for Old Australian Homes' (fig. 4.36) or a standard guideline could be used such as the National Trust Bulletin 1.1 Exterior Paint Colours (fig. 4.37).

4.6 SPECIFIC GUIDELINES (CONT'D.)

4.6.1 PAINTING AND PAINT REMOVAL (Cont'd.)

PAINT REMOVAL. DO NOT SANDBLAST any material, except cast iron, to remove paint. Sandblasting irreversibly damages masonry walls by eroding fine edges and corners and by removing the hard impervious surface of bricks, resulting in an inappropriate blurred appearance and leaving walls susceptible to rainwater penetration. A sandblasted wall can only be repaired by turning around all the bricks or stones so the sandblasted surface is concealed or by rendering the building to resemble a stuccoed building of the period, both of which are prohibitively expensive.

However, paint can be readily removed from masonry, with minimum damage, by a combined chemical/steam or high pressure water technique. Tradesmen to do this work can be found listed under Cleaning Contractors - Steam, Pressure and Chemical in the Yellow Pages.

Although this process is generally more expensive than painting, it is recommended for removing paint from previously unpainted surfaces, not only for reasons of appearance, but because of the long term economy in saved maintenance costs.

The colours listed below may be used in those locations marked 'yes', and may under special circumstances be used in locations marked 'restricted'.

	WALL COLOURS (in matt and semi-gloss only)	JOINERY & SIGNWRITING	ROOFS	SMALL SCALE SIGNWRITING (letters not exceeding 80mm in height)
OFF-WHITE	_____	YES	_____	
CREAM	YES	YES	_____	
LIGHT STONE	YES	YES	YES	
LIGHT BROWN	restricted	YES	_____	no fluorescent or luminous paints, and no metallic paints other than silver and gold
RICH BROWN	restricted	YES	_____	otherwise
INDIAN RED	restricted	YES	_____	unrestricted
CHROME GREEN	_____	restricted	_____	
PRUSSIAN BLUE	_____	restricted	_____	
BLACK & DARK TINTS	_____	restricted	_____	
SLATE GREY	_____	_____	YES	

Fig. 4.37 Specification for Location of Colours from the National Trust Bulletin.



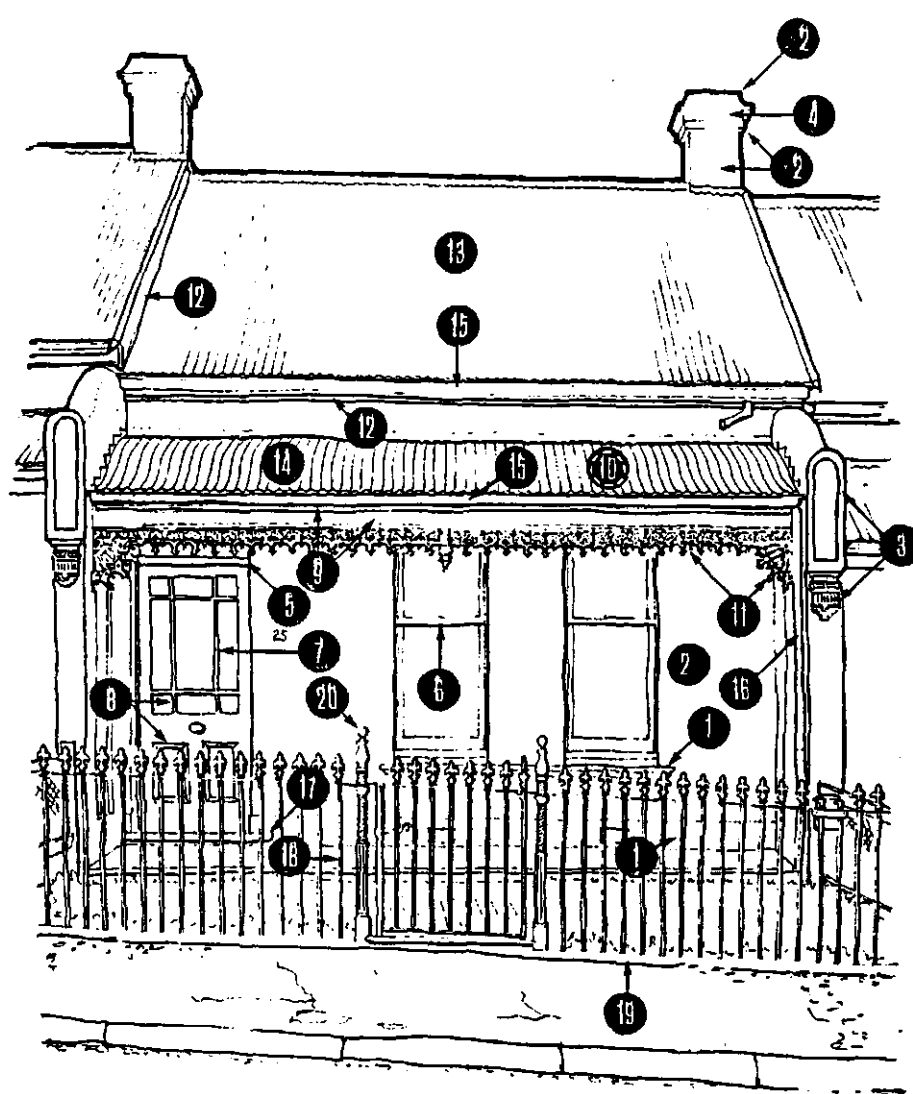
Fig. 4.34 Original Unpainted Finish/Painted Finish, 122/134 Brighton St.



Rich Brown

Cream

Fig. 4.35 Timber Ashlar Cottage with early paint colour scheme. 14 Somerset Street.



A scheme with biscuit walls, venetian red joinery and buff trim on a small terrace.

1 Basecourse and masonry sills under verandah	Venetian red 445 (gloss)
2 Walls and chimneys	Biscuit 369
3 Incised work and brackets to fin walls	Light buff 358
4 Raised mouldings to chimneys and masonry sills	Light buff 358
5 Window and door frames and transoms	Biscuit 369
6 Window and fanlight sashes	Venetian red 445
7 Doors	Venetian red 445
8 Panels, mouldings and sides of glazing bars to front door	Biscuit 369
9 Verandah beam and scotia under gutter	Light buff 358
10 Soffit of verandah roof, rafters and wall plate	Eau-de-nil 216
11 Cast iron	Venetian red 445
12 Fascias and barge boards	Light buff 358
13 Roof	Unpainted
14 Verandah roof stripes	Venetian red 445 and biscuit 369
15 Gutters and barge rolls	Venetian red 445
16 Downpipes and lead flashings	In with surrounds
17 Slate door thresholds	Unpainted
18 Cement paving	Light buff 358
19 Plinth to palisade fence	Biscuit 369
20 Iron palisade fence and gate	Venetian red 445

The numbers after the colours refer to British Standards (260 C and 381 C) which are reproduced in the book.

Fig. 4.36 Example from 'Colour Schemes for Old Australian Homes.'

4.6 SPECIFIC GUIDELINES

4.6.2 FAKE FINISHES

Usually the products promoted for refinishing old buildings such as imitation bricks, imitation stone facing, imitation roofing tiles and aluminium or plastic weatherboards are not convincing and detract from the authentic overall appearance of a building.

Fake finishes therefore contradict a restoration approach and are not to be VISIBLE on any building or in any area included in conservation controls.

Unfortunately, these finishes are often very aggressively marketed. There is a misconception, often promoted by distributors of such products, that the repair of the original finish is more expensive than the imitation product. However, this is usually not the case if comparative quotations are sought.

Imitation wall claddings, in particular, should be treated with caution. Often the money spent recladding would be better directed to repairing any rotted sections of the stud frame and relacing any badly deteriorated (usually west wall) boards in genuine timber weatherboards and the whole properly prepared and painted, rather than covering up the problem for a temporary and expensive cosmetic effect. Imitation claddings also prevent ventilation of the wall framing, causing dry rot (fig. 4.38).

It is important that original finishes be retained if the original character of the building is not to be spoilt. If replacement is essential, then the same material should be used.

Generally, in Richmond, the most common appropriate roofing material is galvanised corrugated iron. Galvanised iron is preferable to Zinalume as it quickly dulls off to a soft grey, whereas Zinalume retains its glaring silver finish. Iron roofs were frequently painted either stone, slate, fadeless green or ferrous red so Colourbond colours: Autumn Red, Dove Grey and Beige are also appropriate in some circumstances.

Tiles were generally only commonly used after 1900 and then were unglazed terracotta. Concrete tiles were introduced around 1908 and were commonly used on Inter-War houses. Tiles are therefore only appropriate on Edwardian or later buildings and should be selected to match original material colour, pattern and glaze finish. In any situation imitation roofing tiles should not be used.

Similarly, weatherboard buildings should not be finished in brick, imitation or real (fig. 4.39 and 4.40).



Fig. 4.38 Fake claddings often worsen existing problems.



Fig. 4.39 Inappropriate cladding on a Victorian cottage.

	ROOF FINISH		WALL CLADDING	
	APPROPRIATE	INAPPROPRIATE	APPROPRIATE	INAPPROPRIATE
VICTORIAN	corrugated iron slate	metal decking terra cotta tiles concrete tiles fake tiles	square edge weatherboard	vertical boarding fake weatherbd. fake brick a.c. sheet brick veneer
EDWARDIAN	corrugated iron slate unglazed red marseilles pattern terra cotta tiles	metal decking glazed tc. tiles concrete tiles fake tiles	square edge weatherboards / roughcast	"
INTER WAR	corrugated iron glazed red marseilles pattern terra cotta tiles concrete, roman or marseilles pattern tiles	metal decking fake tiles	"	"

Fig. 4.40 Appropriate Roof and Wall finishes.

4.6 SPECIFIC GUIDELINES

4.6.3 WINDOWS AND DOORS

All alterations to VISIBLE windows and doors of buildings included in conservation controls to be towards RESTORATION.

MODERN WINDOWS IN EXISTING WINDOW OPENINGS have generally been assessed as 'Inappropriate' because although the original proportions of the building have been retained, unsuitable materials such as steel or aluminium have been introduced, the size of the frame and sash are altered and often the action of the window is inappropriate such as in sliding windows.

Windows should be carefully examined to check whether they do require replacement. Usually the dilapidated state of the original window is superficial and can be readily rectified. New sash ropes, adjustments in parting beads and sash moulds (still available) together with a thorough preparation and painting can rejuvenate a window so that it needs no further attention for decades, particularly if protected by a verandah. If, on the other hand, the window is extensively rotted then a new sash, sill and/or frame should be made to match by a joiner or a new double hung timber window of matching proportion installed.

ALTERED WINDOW OPENINGS are generally assessed as 'Extremely inappropriate' not only for the reasons outlined above, but because the proportion of the whole facade is spoilt (fig. 4.41).

In all cases, where visible from the street, the original windows should be retained or reinstated.

NEW DOORS Again, appropriate maintenance can obviate the need for a new door but if an unsuitable door is to be replaced then doors such as those illustrated (fig. 4.43, 4.44) can be bought second-hand, made to order at a joinery shop, or purchased off the shelf from such manufacturers as Provans Timber & Hardware, Corinthian or Robinsons.

Carved doors available at most hardwares have no similarity to traditional door design and are inappropriate.

FLYSCREEN DOORS are another consistently inappropriate addition. Screen doors to suit Nineteenth Century or early Twentieth Century houses should have timber frames and rails and be either plain or detailed to suit the period of house (fig. 4.42). Such doors can be made up by a joiner or obtained from specialist manufacturers such as The Colonial Screen Door Company.



Fig. 4.41 Unsuitable Windows and Doors detract from original character of cottage.

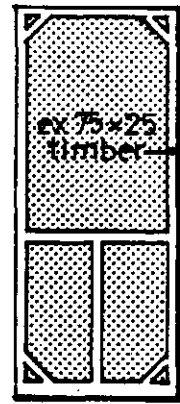
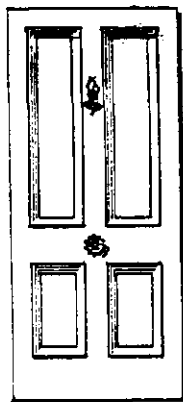
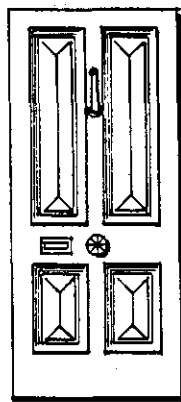


Fig. 4.42

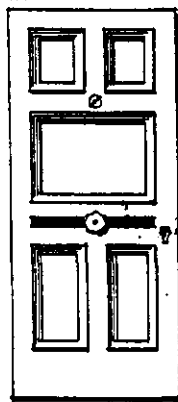
Appropriate Fly Screen Door



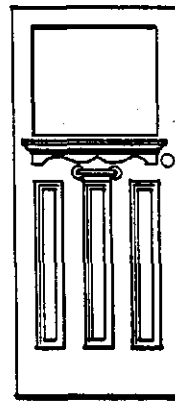
VICTORIAN



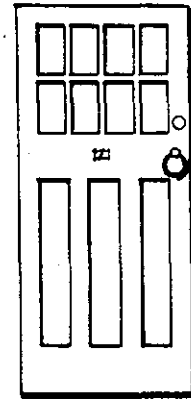
LATE VICTORIAN



EDWARDIAN



ABOUT 1915



ABOUT 1925

Fig. 4.43 Appropriate Doors for Different Periods and Styles.



Fig. 4.44 A Victorian Front Door

4.6 SPECIFIC GUIDELINES

4.6.4 VERANDAHS

Much of the character of pre 1940 buildings is a result of the verandah and for this reason it should not be removed or unsympathetically altered (fig. 4.45 and 4.46).

All alterations therefore to VISIBLE verandahs of buildings included in conservation controls to be towards RESTORATION.

However, a great number of verandahs in Richmond have already been removed entirely or, more commonly, modernised with flat roofs, concrete floors, wrought iron panel or steel pipe posts. Careful attention to detail and the matching of this to the period of the house is essential for effective restoration results. Note particularly that bull-nose verandah roofs were only introduced in the late Victorian period and that turned timber posts are Edwardian. A typical design for a Victorian timber verandah is illustrated (fig. 4.47).

Timber verandah floors should be replaced in timber. It is common practice to replace timber verandah floors with concrete. This is extremely inappropriate, not only for aesthetic reasons, but because ventilation is cut off to the sub-floor timbers. Unventilated conditions so caused will result in dry rot in timber framing and encourage rising damp.

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Fig. 4.45 Unsuitable verandah detracts from cottage's character



Fig. 4.46 Similar cottage with original verandah and sympathetic fence. 47 Somerset St.

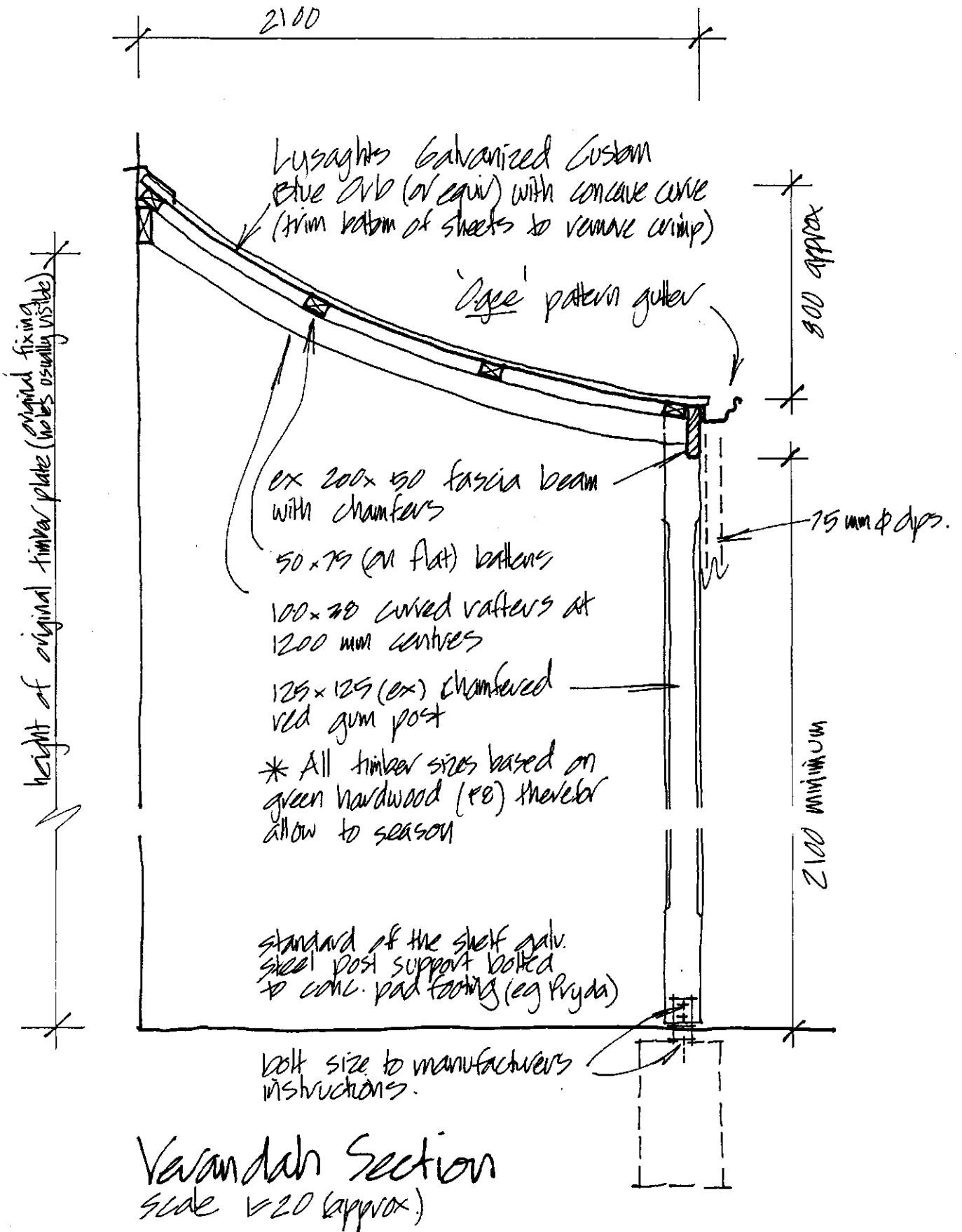


Fig. 4.47 Typical Timber Verandah suitable for a Victorian House.

4.6 SPECIFIC GUIDELINES

4.6.5 FENCES

This is the most consistently inappropriate feature of houses throughout Richmond. Until around 1920, most houses had a front picket fence. There are still some Edwardian picket fences but original Victorian picket fences are extremely rare. Unfortunately, instead of being repaired or carefully reconstructed, modern brick fences, paling fences, wrought iron fences and even modular concrete fences have been erected in their place. Another undesirable trend is to build very high fences which obliterate the view of the house from the street, although they do little in terms of traffic noise reduction.

Reconstruction of a fence in an authentic way appropriate to the style of the house can add greatly to its appeal (fig. 4.48) and is required for all fence alterations to buildings included in conservation controls. The following illustrations are of timber pickets and fence designs appropriate to the different building styles in Richmond (fig. 4.49 to 4.67).

- WOVEN WIRE FENCES

Introduced in 1910 by Cyclone. It consisted of woven crimped wire mesh attached to a timber post and rail frame (fig. 4.58, 4.59). By 1930 a system of galvanised pipe rails and posts was introduced but did not come into wide use until after 1945. Chain wire mesh was available as early as 1920 and was initially attached to a timber post and rail frame.

- IRON PALISADE FENCES

Many examples of this type of fence can be found usually on more substantial late Victorian brick houses or terraces.

These fences have survived well for obvious reasons of durability but are expensive now to duplicate properly. The following illustrations are included, but for further details on the repair and replication of this fence type see 'The Old Aussie House' or 'Restoring Old Houses' (op. cit.), (fig. 4.60 and 4.61.)

- CORRUGATED IRON FENCES

Very few of these fences survive as front fences but they are an effective and economical form of front fence. Low corrugated iron fences should be capped with a weathered timber capping and a timber scotia or ovolo mould beneath (fig. 4.62).

Side and rear fences are traditionally in corrugated iron with either a flat cut or pointed cut top or capped as for corrugated iron front fences (fig. 4.63 and 4.64).

- TIMBER PALING FENCES

Again, timber palings are a traditional form of side and rear fencing. The illustrated types are generally appropriate (fig. 4.65, 4.66).

- BRICK FENCES

Brick and rendered brick fences became popular around 1930 and were often combined with wrought iron panels which were produced by Cyclone (fig. 4.66a)

- Fences to new buildings (see p.32).

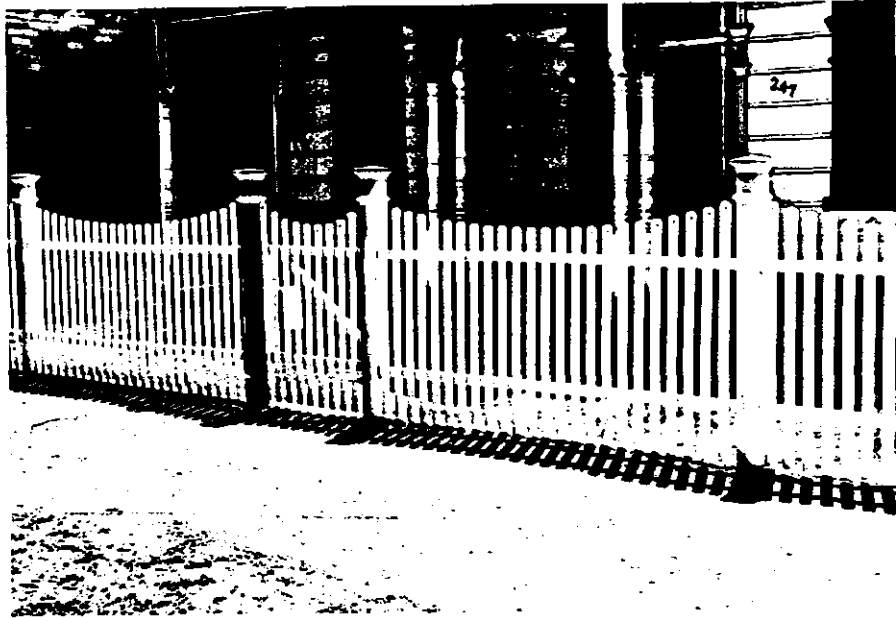


Fig. 4.48 An appropriate fence can add greatly to the appearance of a house, 247 Highett Street.

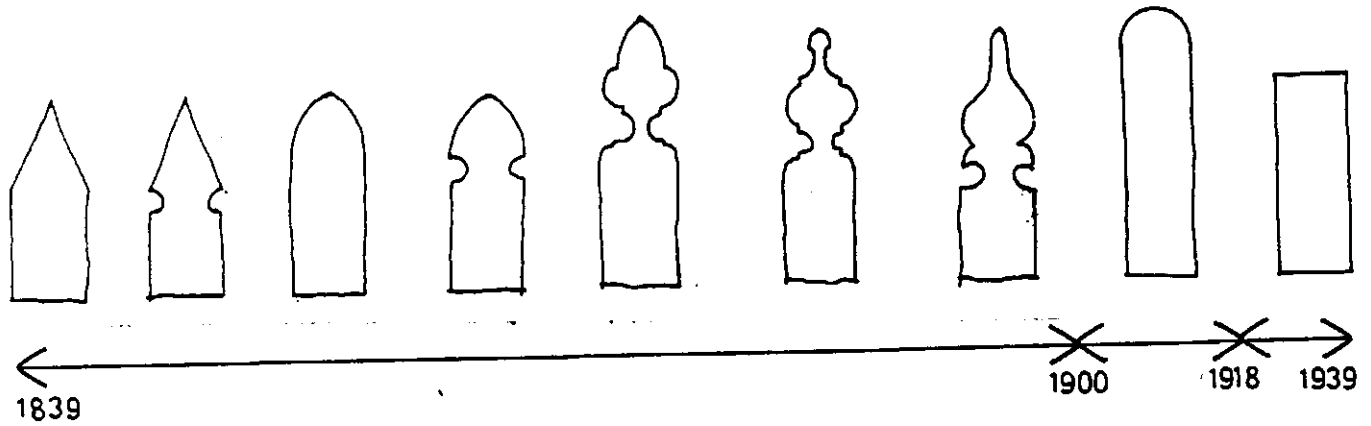


Fig. 4.49 Picket styles

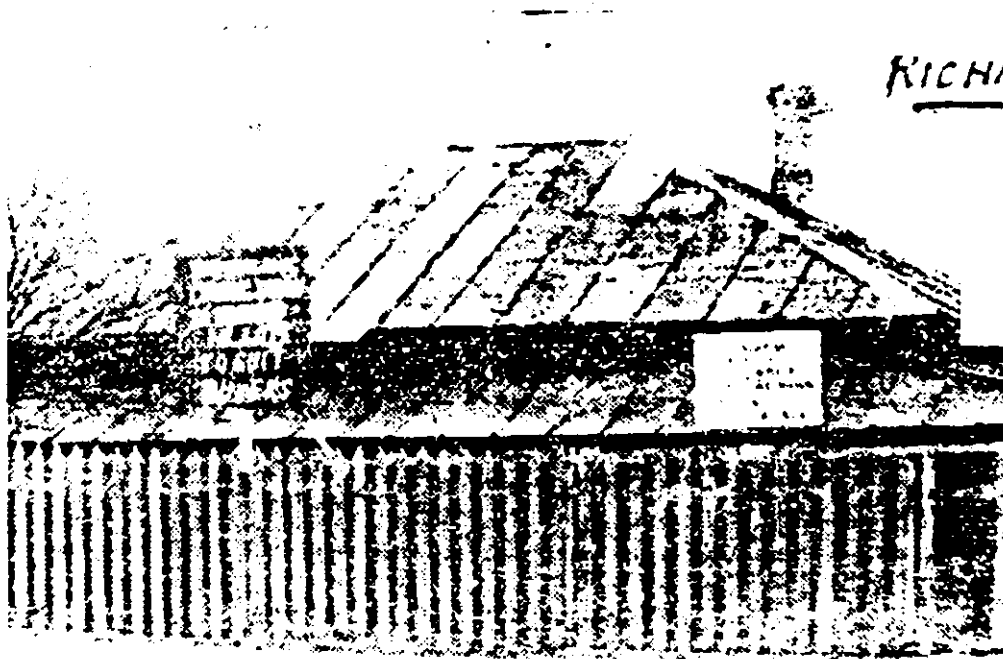


Fig. 4.50 Early Victorian picket fence, Richmond
 (Note iron tiles from early Victorian period)
 (See also figs. 4.2 and 4.3)



Fig. 4.51 Victorian fence, 41 Shelley St.



Fig. 4.52 Victorian fence, 18 Muir St.



F
Fig. 4.53 Victorian fence, Lennox St.



Fig. 4.54 Edwardian picket fence, 97 Kent St.



Fig. 4.55 Edwardian picket fence, 21 Mary St.



Fig. 4.56 Edwardian picket fences, 90-92 Coppin St.



Fig. 4.57 Inter-War picket fence, 234 Mary St.



Fig. 4.58 Inter-War woven wire fence and hedge, 43 Mary St.



Fig. 4.59 Inter-War woven wire fence, 8 Kennedy St.

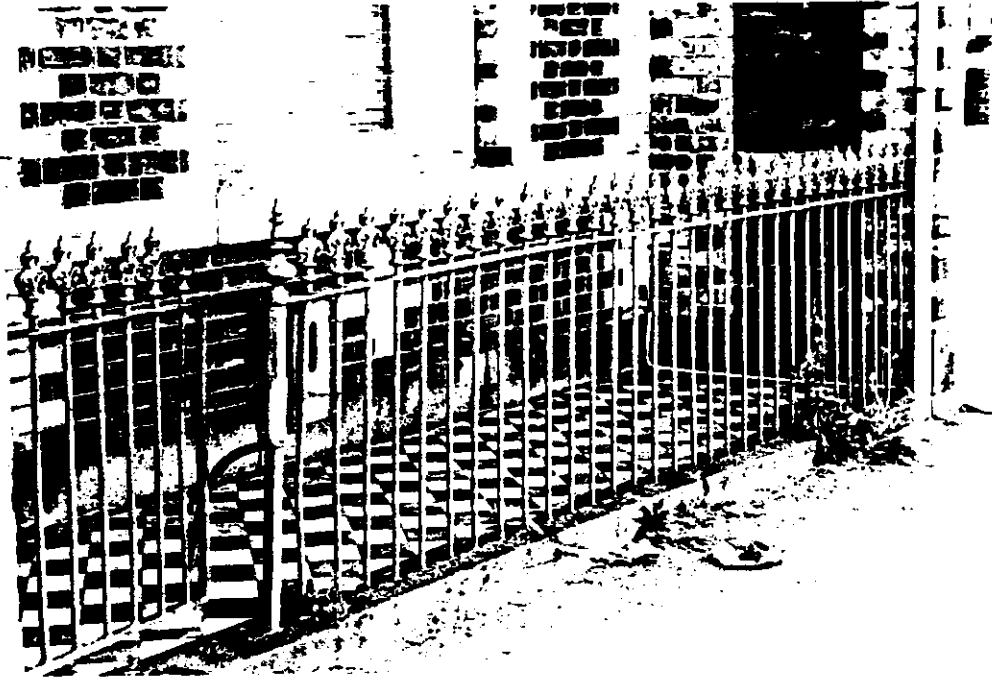


Fig. 4.60 Late Victorian Iron Palisade Fence, 122 Brighton St.

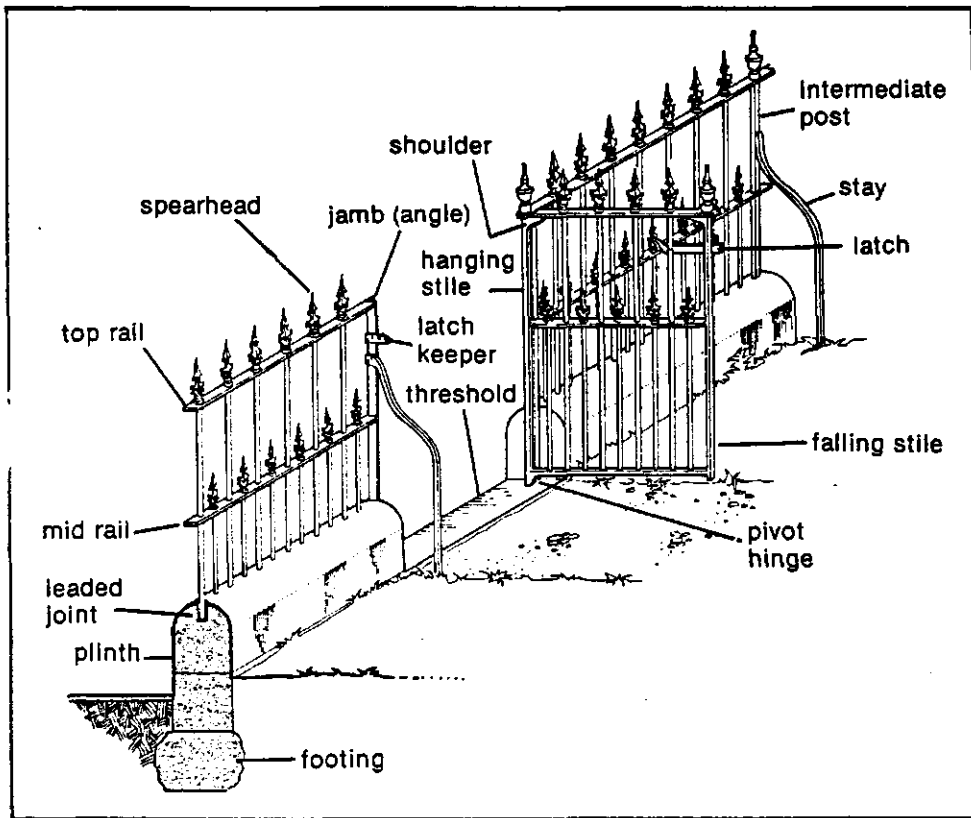


Fig. 4.61 Iron Double Palisade Fence Construction.

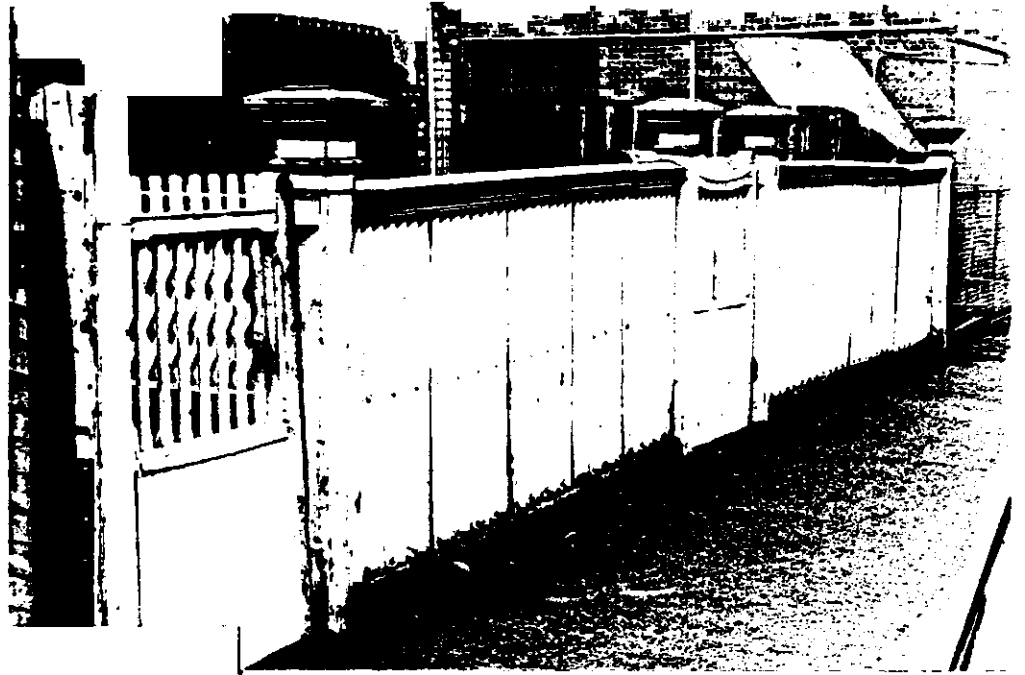


Fig. 4.62 Victorian Corrugated Iron Front Fence, 6 Baker St.

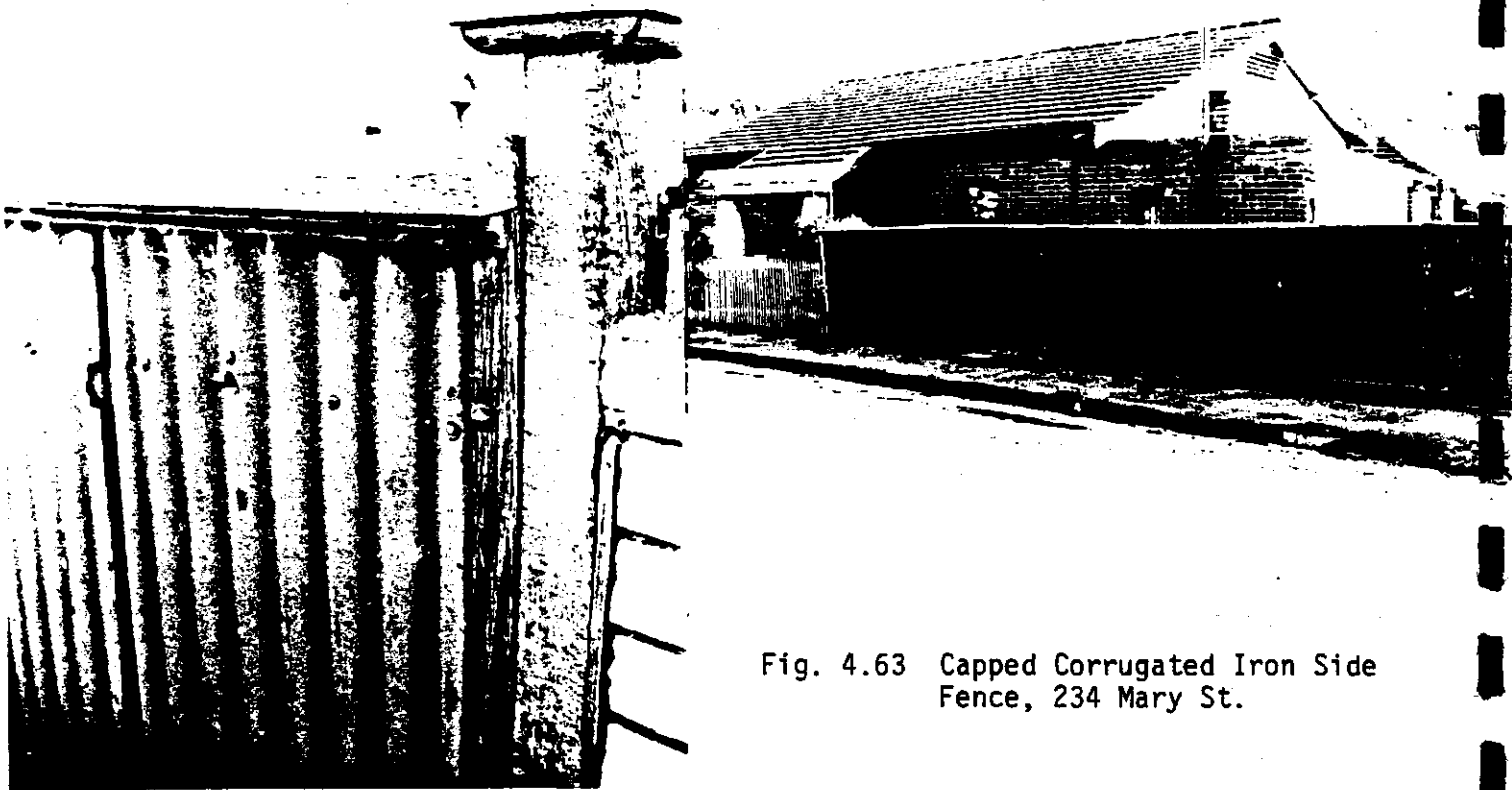


Fig. 4.63 Capped Corrugated Iron Side Fence, 234 Mary St.

Fig. 4.64 Fence Detail, 234 Mary St.

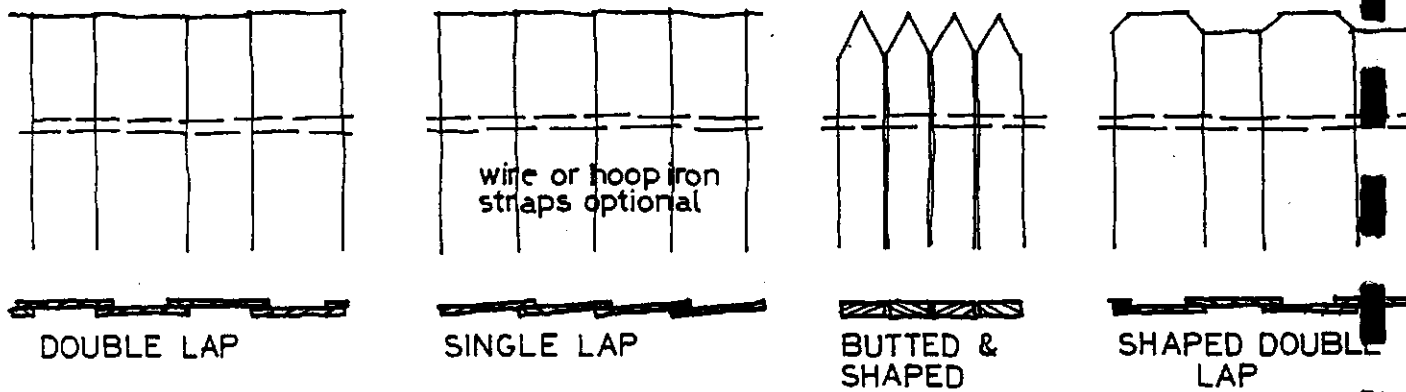


Fig. 4.65 Appropriate timber paling fence types.



Fig. 4.66 Pointed top butted (paling fence (75 x 25),
480 Church Street.



Fig. 4.66a Brick fence with wrought iron panels 1930's,
34 Goodwood Street.

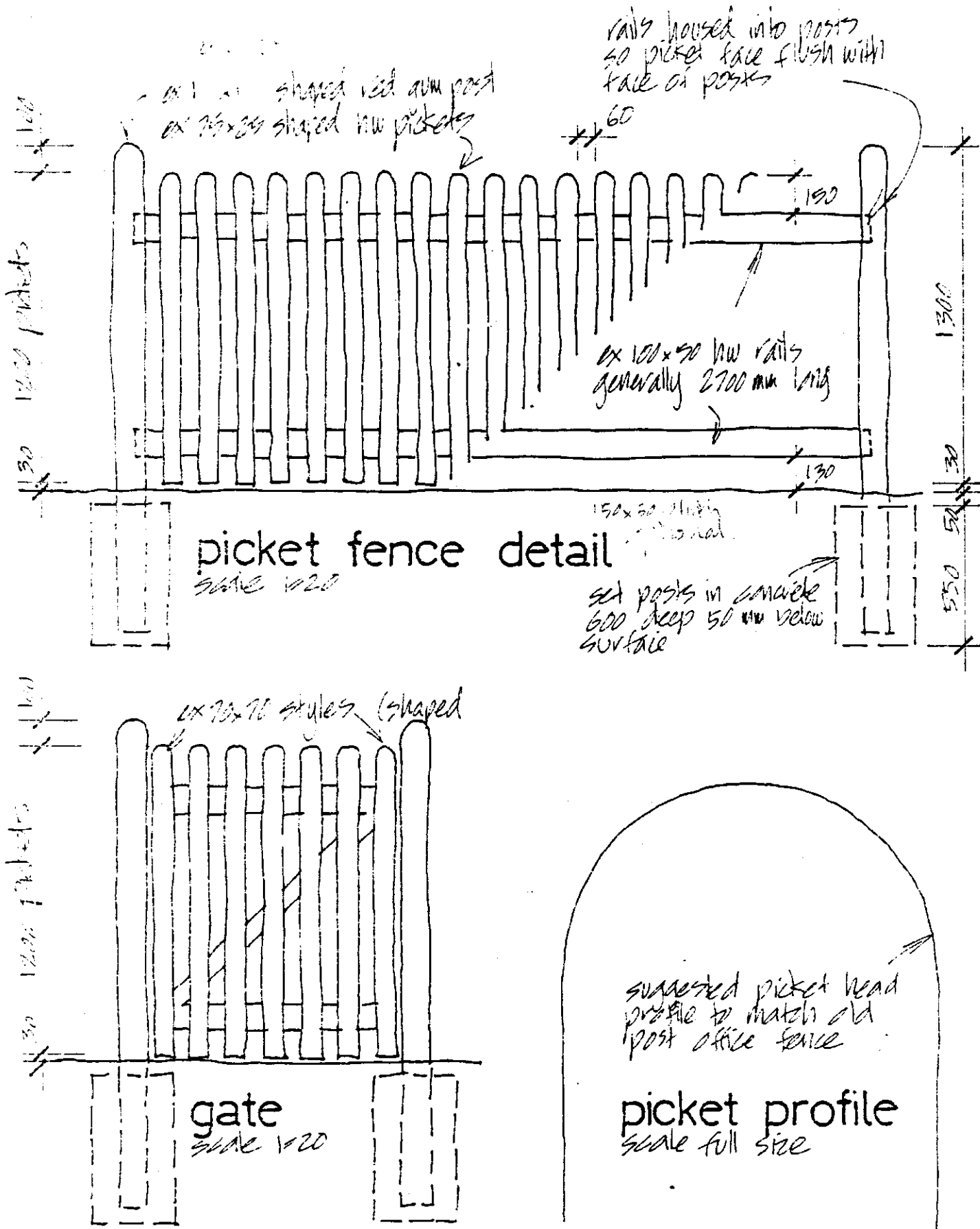


Fig. 4.67 Typical Picket Fence Details.

4.6 SPECIFIC GUIDELINES

4.6.6 CARPARKING

Richmond was obviously subdivided without consideration for the requirements of carparking. However, the practice of removing fences, converting whole frontages to access gates, concreting gardens and parking under a tacky lean-to constructed beside or incorporating the verandah is extremely undesirable. It detracts not only from the individual building but from the appearance of the street as a whole (fig. 4.68 and 4.69) and is therefore not recommended for buildings or areas included under conservation controls.

Car access, where possible, should be off rear lanes or, if the site is small, it should be confined to the street. Parking regulations should be used to ensure adequate street carparking space.



Fig. 4.68 Verandah Inappropriately
Converted to a Carport,
4 Brady St.

Fig. 4.69 Gates, Concrete and Car
Detract from Cottage.

4.6 SPECIFIC GUIDELINES

4.6.7 SHOP VERANDAHS

Very few original Victorian and Edwardian shop verandahs remain owing largely to Council policy requiring their demolition during the 1950's and 60's. However, the recognition of the detrimental effect this had on the shops individually (fig 4.70 and 4.71) as well as the overall streetscape has led to a reversal of this policy and the reinstatement of appropriate verandahs is now encouraged by the City of Richmond. All alterations (of more than 50%) to verandahs of buildings included in conservation controls are therefore to be towards restoration, unless:

- . The existing verandah, although of a later period than the shop has individual significance.
- . No evidence can be found of the original design.

In the latter case a CONSERVATIVE design approach should be adopted. Completely speculative reconstructions are not recommended.

RESTORATION OF A SHOP VERANDAH

Firstly, the period of the shop should be established and photographs and any other records sought to establish the verandah type. These fall into three main categories - cast iron, timber and cantilevered.

CAST IRON VERANDAHS

These were common on late Victorian and Edwardian period shops and generally conform to a standard design (fig. 4.72, 4.73, 4.74, 4.75). See illustration of the standard cast iron verandah design for Ballarat which is very similar to Richmond (fig. 4.76 and 4.77). Good examples also exist of cast iron verandah reconstructions (fig. 4.78 and 4.79).

TIMBER VERANDAHS

Not all shop verandahs were of cast iron, particularly in the earlier Victorian period (fig. 4.80). A typical verandah reconstruction drawing is shown, although detailing varied considerably from one timber verandah to the next (fig. 4.81).

CANTILEVERED AWNING VERANDAHS

During the Edwardian period and subsequently, cantilevered awnings were sometimes used instead of post supported verandahs. These were supported on wrought iron brackets (fig. 4.82 and fig. 4.83) and tension rods at first. Gradually these were superceded by cantilevers concealed within the thickness of the lined verandah roof structure. This type of verandah should only be restored to buildings of the associated period.



Fig. 4.70 314, 316 Bridge Rd., 1908



Fig. 4.71 314, 316 Bridge Rd., 1984.
Replacement of the shopfronts, the verandah and the defacing signs have detracted from the original appearance.



Fig. 4.76 Cast Iron Verandah on Edwardian Shop, Burnley.



Fig. 4.73 Cast Iron Verandah on late Victorian Shop, 138 Swan Street.

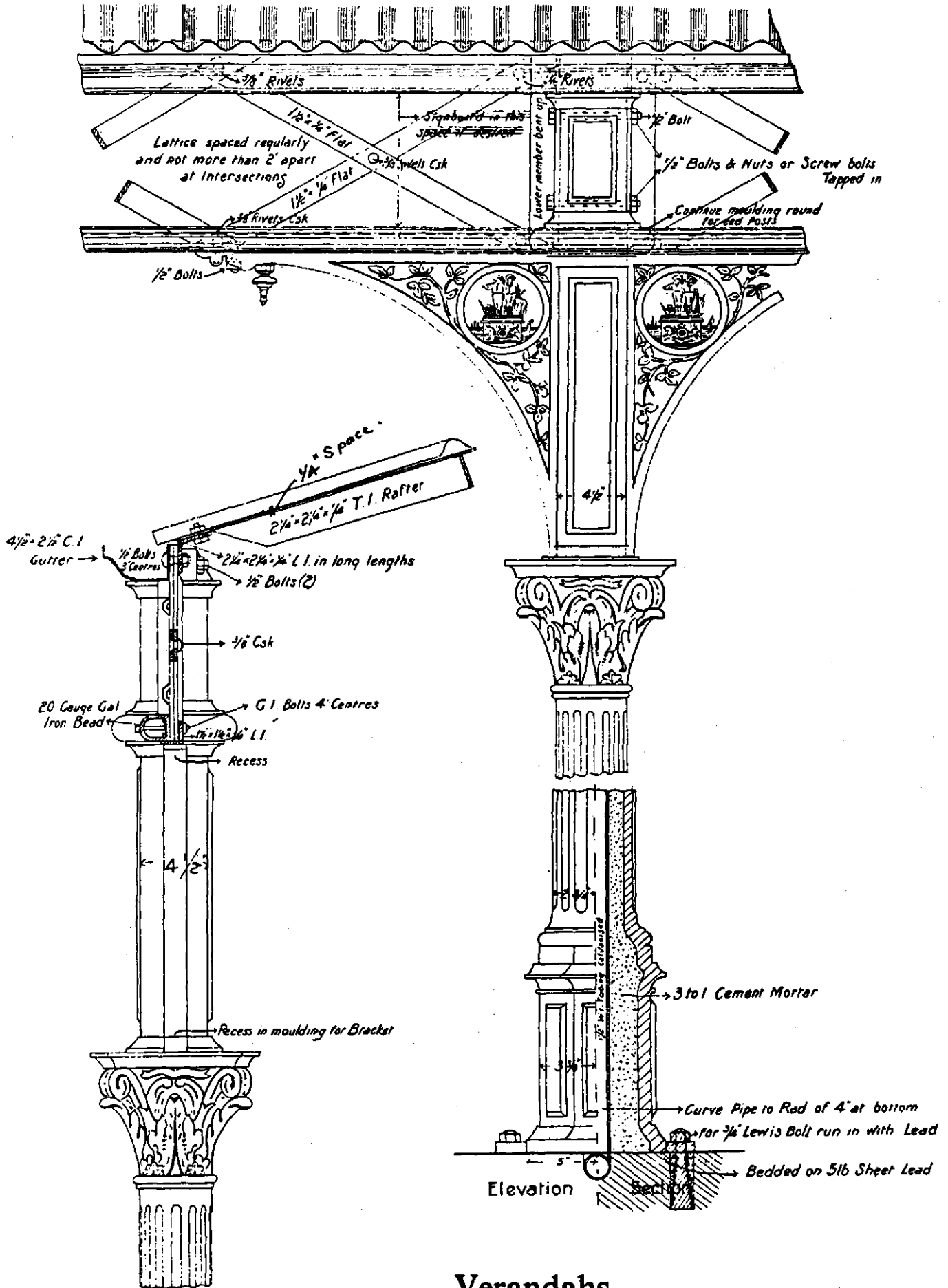


Fig. 4.74 Cast Iron Verandah on Victorian Shop Swan St.

Note Timber Edwardian Shopfronts



Fig. 4.75 Cast Iron Verandah on Edwardian Shop, Bridge Road.

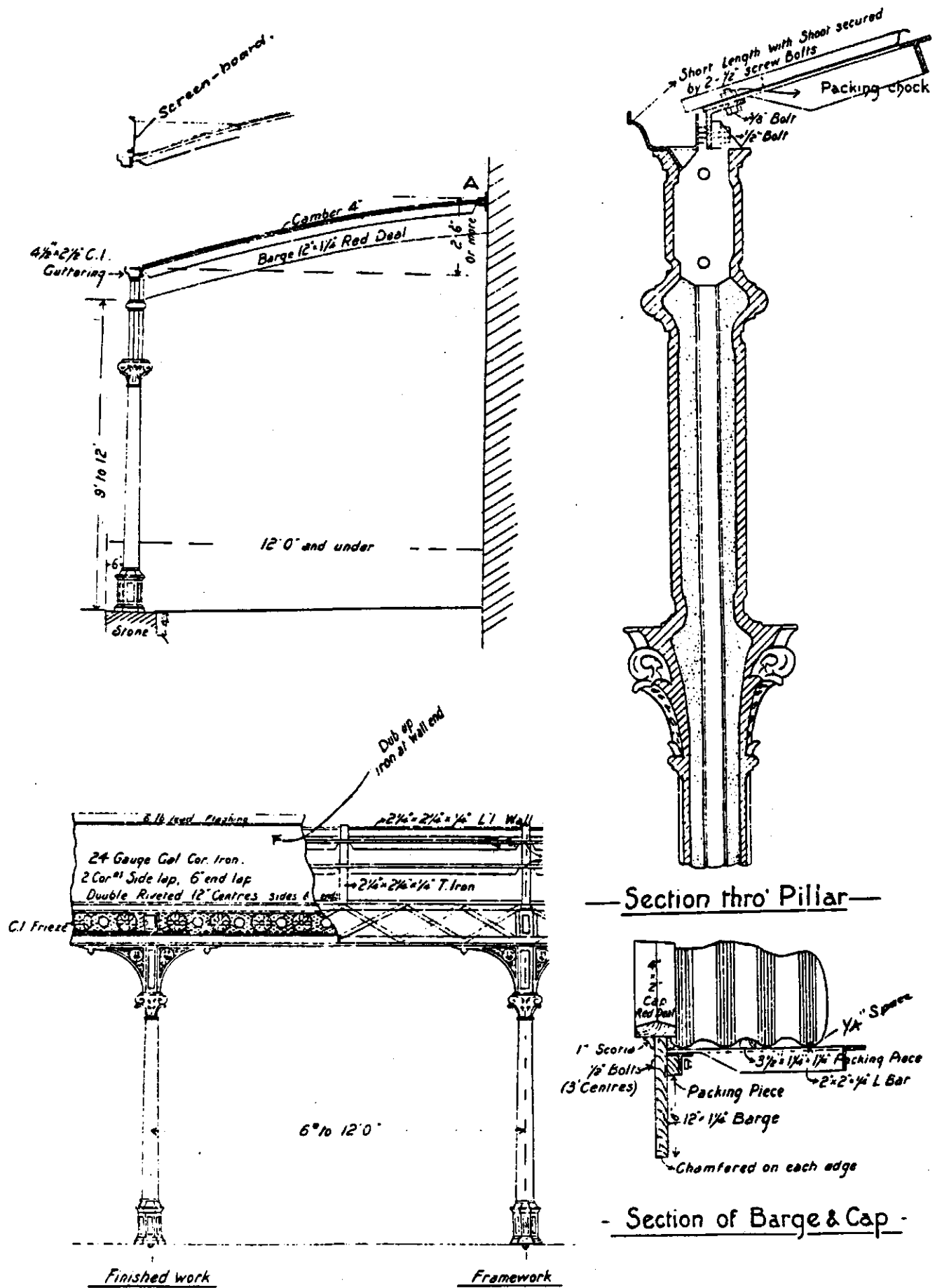


— Section thro' Girder &c —

Verandahs

Details 1906 B.C.C. verandah drawing — cast iron

Fig. 4.76 Details from Ballarat City Council Cast Iron Verandah Drawings.



— Elevation —

Verandahs

Details 1906 B.C.C. verandah drawing — cast iron

Fig. 4.77 Details from Ballarat City Council Cast Iron Verandah Drawing



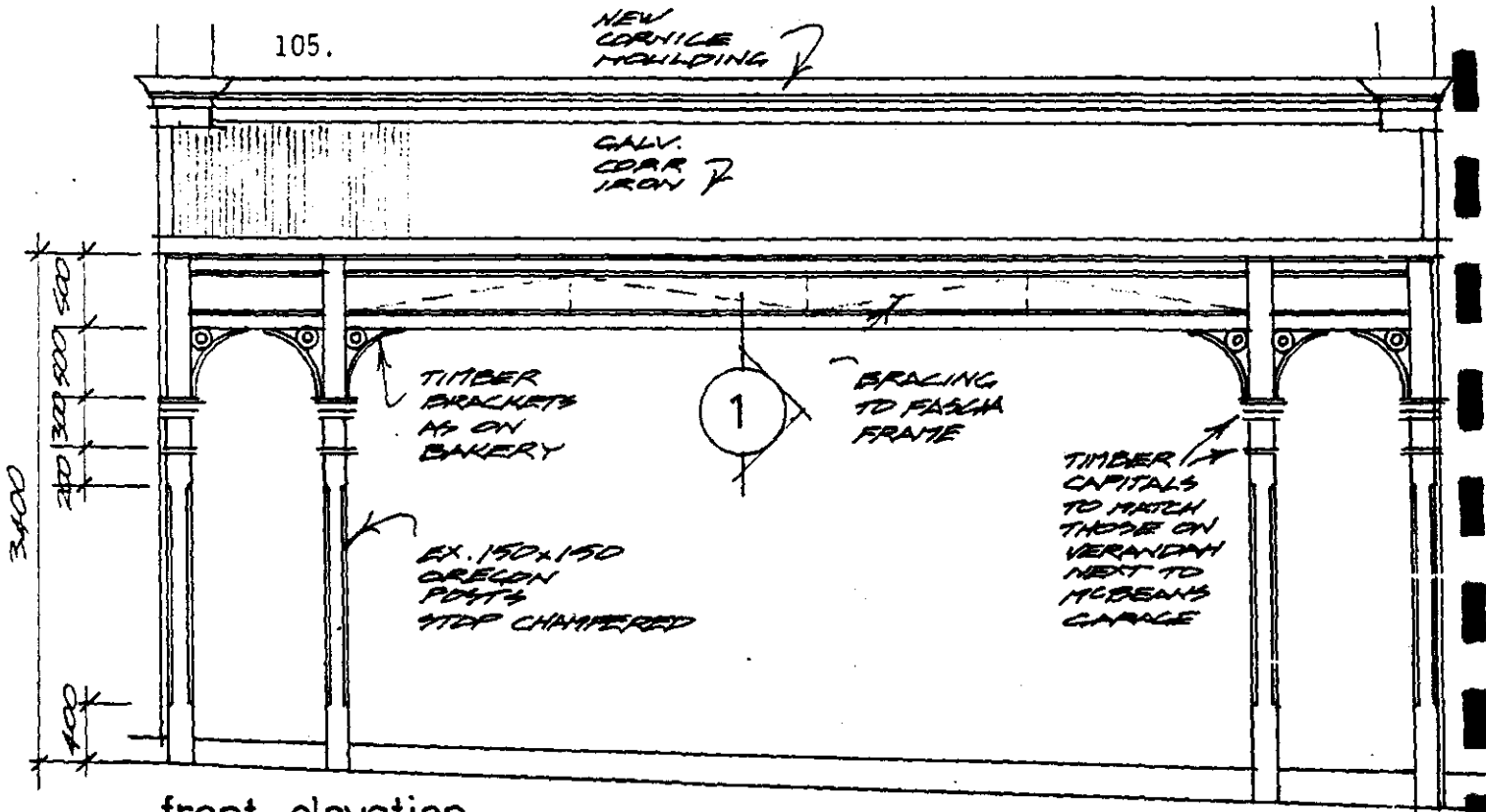
Fig. 4.78 Reconstructed Verandah 597, 599 Bridge Rd.



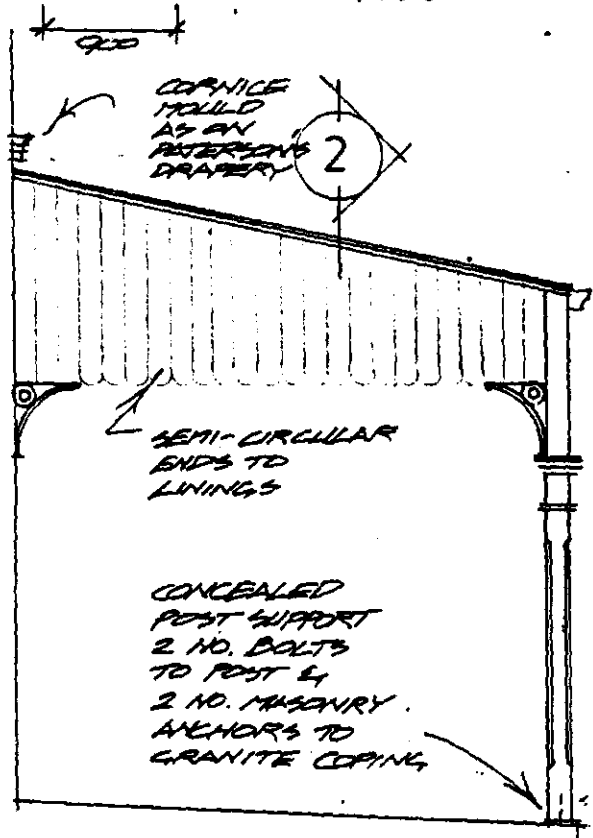
Fig. 4.79 Reconstructed Verandah, 84 Bridge Rd.



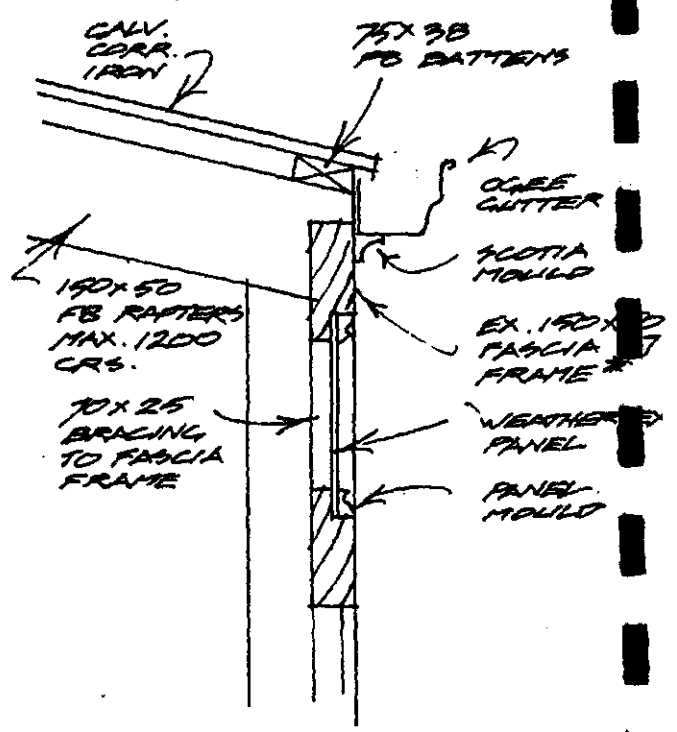
Fig. 4.80 Timber Verandah, Cnr. Bridge Rd. and Church St., c 1858



front elevation 1:50

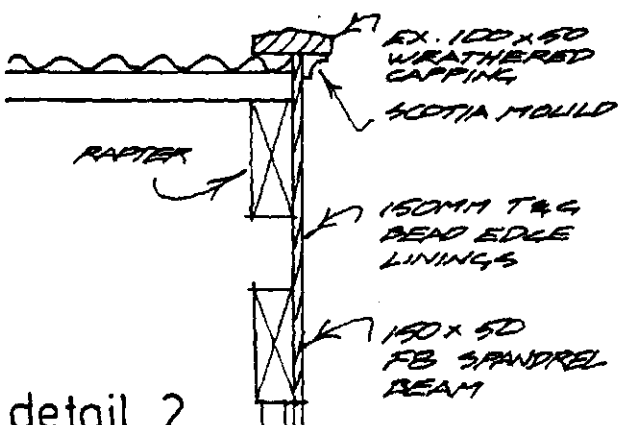


side elevation 1:50



detail 1 1:10.

* NOTE: STRUCTURAL ENGINEER MUST CHECK STRUCTURAL SUFFICIENCY OF FASCIA FRAME.



detail 2

VERANDAH RECONSTRUCTION AT FORMER GARAGE, CAMP ST. BEECHWORTH. FOR S. & A. FOX. JUL. 1955.



Fig. 4.82 Edwardian Cantilevered Awning, 66 Lennox St.



Fig. 4.83 Edwardian Cantilever Brackets, 144 Stawell St.

4.6 SPECIFIC GUIDELINES

4.6.8 SHOPFRONTS

Unfortunately, due to the urge to modernise and a reluctance to maintain original shopfronts, most have been replaced with unsympathetic modern aluminium windows. However, some examples do remain. See figs. 4.84 and 4.85.

Original shopfronts such as these and intact shopfronts of individual merit, from a later period than the building, should be retained. All alterations to inappropriate shopfronts of buildings included in conservation controls to be towards RESTORATION.

RESTORATION OF A SHOPFRONT

The period of a shop should be established and investigations made to find any evidence for the original shopfront. Timber shop windows can be readily reconstructed by a joinery shop accustomed to restoration work, at a comparable price, to modern shopfronts. Details can be established from photographs or based on existing shopfronts (fig. 4.95).

Metal shopfronts are more difficult to restore as their components are no longer manufactured. However, a sympathetic shopfront can be made up using a combination of standard timber sections for the perimeter frame and brass rods at the corners (fig. 4.93).

Glazed ceramic 150 x 75 tiles are available from tile companies specialising in restoration work.

Details appropriate for the period of the shopfront should be carefully established from existing shopfronts and generally are as follows:

VICTORIAN SHOPFRONTS are characterised by:

- . Recessed doorways with 60° splayed side(s) (fig. 4.86).
- . Lambs tongue moulded timber mullions and frame (fig. 4.95).
- . Panelled timber or rendered brick stallboards (fig. 4.87).
- . Display shelf inside windows
- . Panelled doors with collection moulds (fig. 4.87)

EDWARDIAN SHOPFRONTS typically have:

- . Recessed doorways with splayed side(s) (fig. 4.86).
- . Timber (figs. 4.75, 4.89, 4.91) or
- . Fine brass mullions and frame (brass shopfronts were introduced after 1890) (fig. 4.92)
- . Large panes of glass
- . Tiled sloping stallboards in 150 x 75mm tiles laid in stretcher bond (fig. 4.89)
- . Display shelf inside windows
- . Leadlighted top panels in sinuous Art Nouveau style
- . Glazed and panelled doors (fig. 4.90)

4.6 SPECIFIC GUIDELINES

4.6.8 SHOPFRONTS (Cont'd)

INTER WAR SHOPFRONTS differed from Edwardian shopfronts in the following respects:

- . Mullions and frames are usually nickel or chrome plated brass
- . Tiles are usually small and square (75 x 75mm) and stallboards are generally not sloped (figs. 4.96 and 4.97)
- . Leadlighting is of a more geometric style (fig. 4.97)
- . Doors are fully glazed or panelled in 1920's-30's style (figs. 4.96 and 4.97).



Fig. 4.84 Victorian Shopfront, 330 Burnley St.



Fig. 4.85 Victorian Corner Shopfront
69 Balmain St.

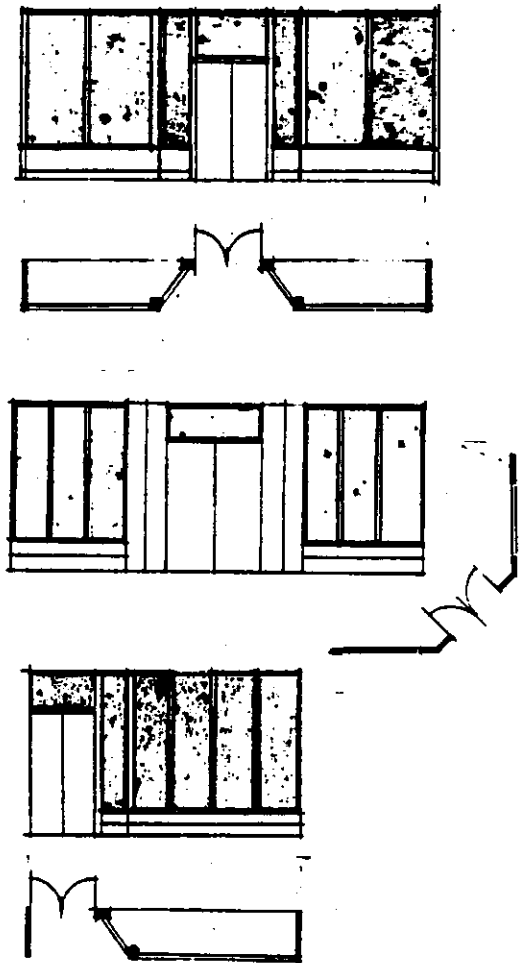


Fig. 4.86 Some typical Victorian
Shopfront layouts.

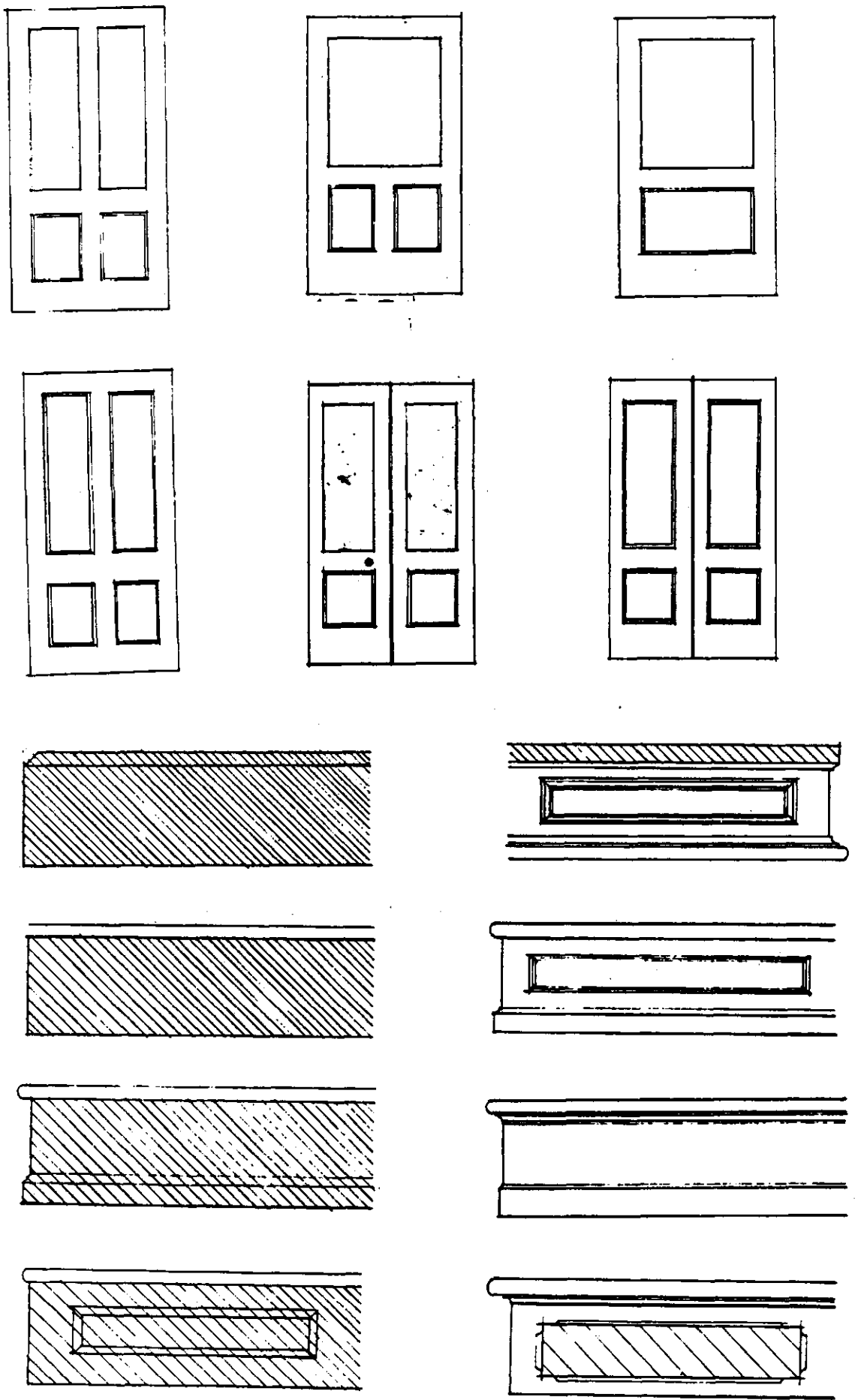


Fig. 4.87 Some typical Stall Board and Door Details for Victorian Shops.



Fig. 4.88 Late Victorian Shopfront, 144 Bridge Rd.
(Door is inappropriate)



Fig. 4.90 Detail of
Fig. 4.89



Fig. 4.89 Timber Edwardian Shopfront
185 Canterbury Rd, Canterbury
(see Fig. 4.75 for same type)

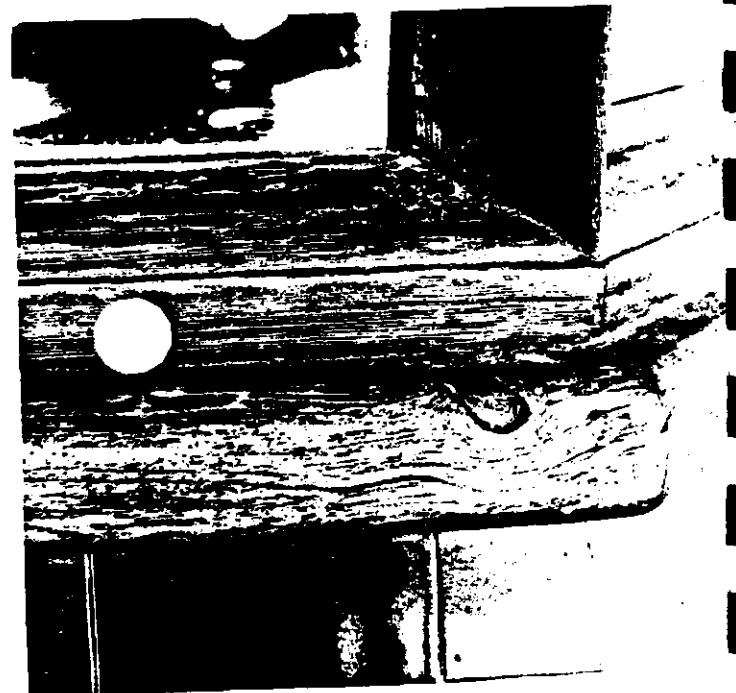


Fig. 4.91 Detail of fig 4.89



Fig. 4.92 Brass Edwardian Shopfront, 334 Bridge Rd.



Fig. 4.93 Sympathetic 'Edwardian' Shopfront made up of standard components, Theatre Place Canterbury.



Fig 4.94 Reinstated Timber Victorian shopfront, 84 Bridge Rd.

31 FORD STREET
BEECHWORTH.

SECTION THRU WINDOW
SILL AND TRANSOM.

SECTION THRU
STALLBOARD
MOLDINGS.

PLAN SECTION OF WINDOW
MULLIONS AND JAMB.

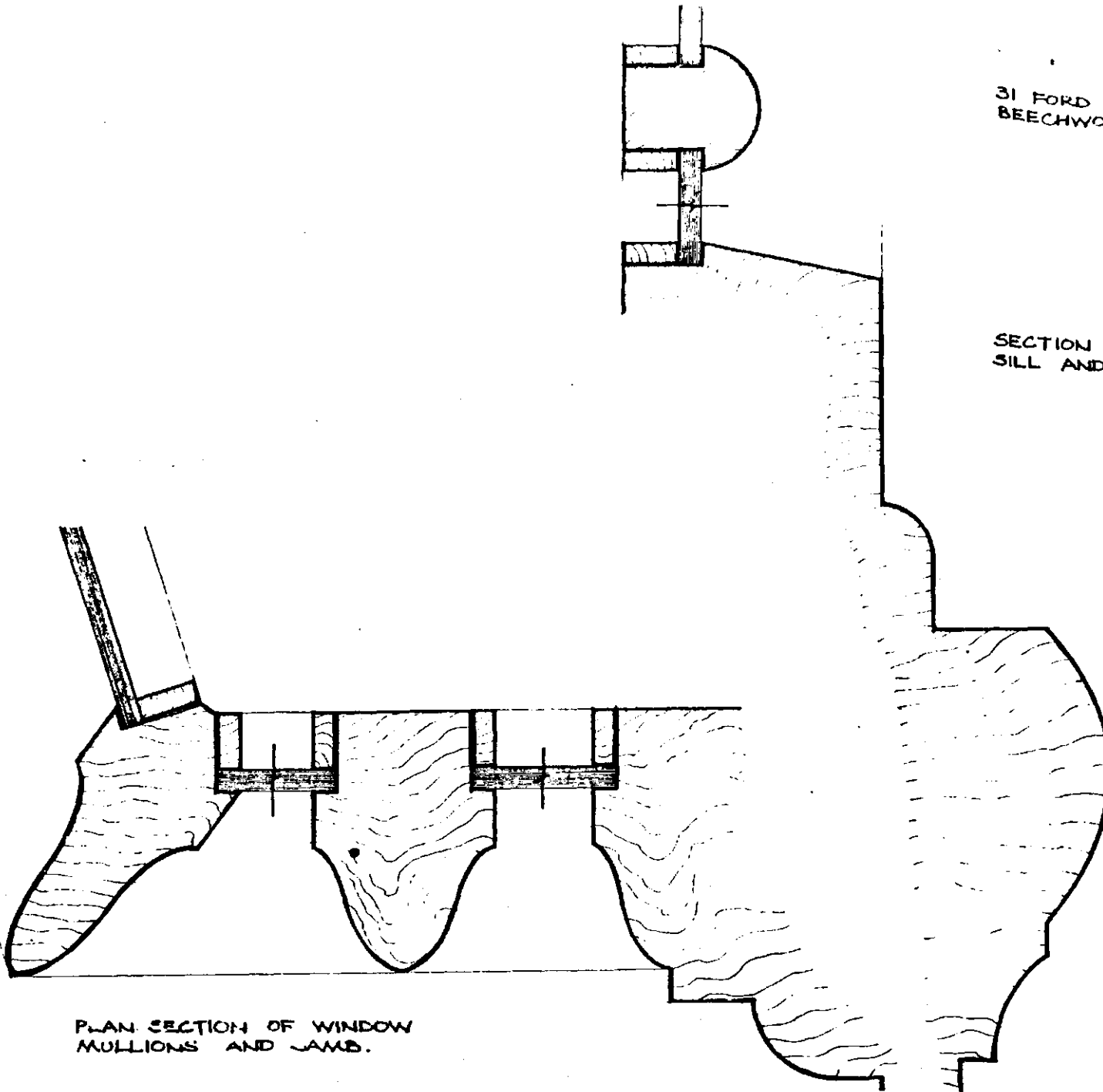


Fig. 4.95. Victorian timber Stallboard Details (not to scale).



Fig. 4.96 Inter War Shopfront, 314 Bridge Rd.



Fig. 4.97 Inter War Shopfront, 116 Bridge Rd.

4.6 SPECIFIC GUIDELINES

4.6.9 ADVERTISING SIGNS

Advertising signs have become one of the greatest desecrators of the urban environment. Not content with saturation commercials on radio, TV and via letterboxing, advertisers are now defacing whole buildings with garish and unsightly displays. This practice must be prevented before whole streetscapes become unsightly continuous hoardings (figs. 4.98, 4.99 and 4.100).

This is in marked contrast to early signwriting. Although Richmond had a fine display of nineteenth century signs and lettering, very few examples remain today. These few signs should be retained (fig. 4.101).

From such fragmentary examples, it is not possible to appreciate the types and variety of signs and lettering used in Richmond during the nineteenth and twentieth centuries. Old photographs, however, are a rich source of information (figs. 4.102 to 4.107). It is evident from these photographs that effective advertising can be achieved without obliterating the architectural features of a building or the form of a streetscape. Similar effects can be achieved by adhering to the following guidelines which are summarised mainly from the National Trust Technical Bulletin 2.1, Lettering and Signs on Buildings, C.1850-1900.

APPLICATION OF ADVERTISING GUIDELINES

A permit is required for all new advertising signs in Conservation Areas or on buildings included under conservation controls. These signs will need to follow these guidelines in terms of design, colour, materials, size and location.

LETTERING STYLE Most early signs are in simple bold capital letters and are notable for their legibility. Elaborate and fussy letter styles, although commonly misunderstood as being typically Victorian (particularly Gothic) were in fact very rarely used. The use of florid or exotic faces should therefore be restricted to where there is surviving evidence of such lettering having been used on the particular building being repainted. The most common faces are listed in order of frequency of use with Grotesque Sans Serif by far the most popular (fig. 4.108).

SHADED LETTERS were regularly used, generally with the shading angled downwards at 45° to the horizontal. Usually only one part of the sign, such as the owner's name, might be so shaded.

MIXED FACES While only capital letters were commonly used, a variety of different letter styles might be used in the same sign.

DECORATIVE SCROLLWORK was also not used as frequently as is popularly thought. The use of such scrollwork today looks contrived and out of place, much the same as reproduction Victorian ornamentation would look on a modern building. Modern signs, although they should be sympathetic to their context, should be genuinely modern and not include such inappropriate detail.

4.6 SPECIFIC GUIDELINES

4.6.9 ADVERTISING SIGNS (Cont'd)

COLOUR Sign colours should be within the following range:

OFF WHITE	RICH BROWN	BRUNSWICK GREEN
CREAM	DARK BROWN	PRUSSIAN BLUE
LIGHT STONE	DARK RED	BLACK
LIGHT STONE	CHROME GREEN	SILVER

Fluorescent paint is extremely inappropriate.

LIGHTING Signs painted on metal or timber panels and externally illuminated with spotlights are preferred to a flat plastic sign with internal fluorescent tubes.

SIGN LOCATION Evidence indicates that all locations of shop-fronts were used for signwriting, although not all at once. Typically, only one sign occurred on the upper part of the window, perhaps with a white stippled background or on the panel above the window.

Exterior signs elsewhere were painted on the surface of the building or on painted timber or painted flat galvanised iron sheets. Generally these signs were defined by a border or an edge moulding so that the sign is differentiated from the building.

The following locations are recommended as suitable for Richmond commercial buildings (fig. 4.110, 4.111) and fences (fig. 4.109).

SIZE Quite large letter sizes are evident from the photographs, however, these are always well scaled to fit comfortably into the architectural sign field.

Signs on the sides of buildings are painted on the brickwork, not onto hoardings, and hoardings on verandahs are generally no greater than 600mm high. Sky signs were not used.



Fig. 4.98 Before, 314 and 316 Bridge Road, 1908.

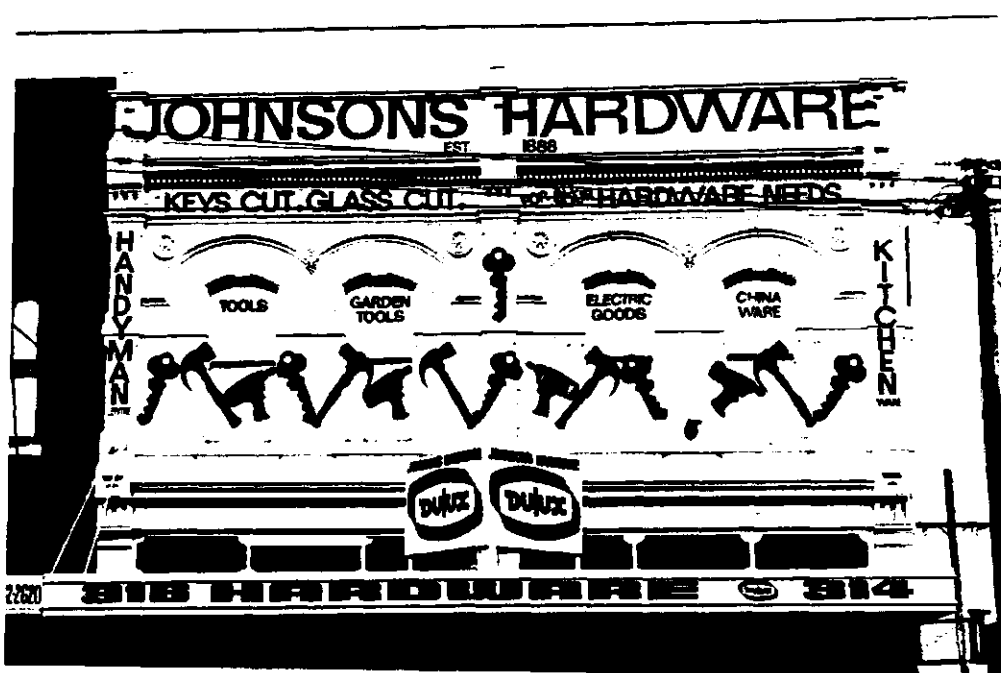


Fig. 4.99 After Defacement by Signwriting.

Note lettering straying over pilasters, painted out window openings and obliteration of original brick finish.

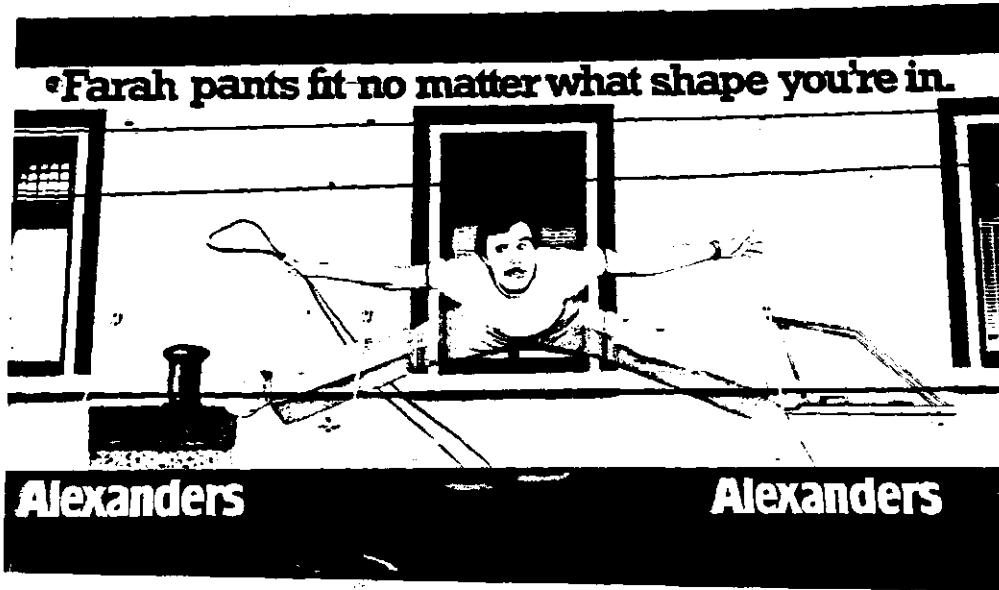


Fig. 4.100 Examples of Signwriting Defacement



400 Bridge Rd.



316 Bridge Rd.



138 Swan St.



Fig. 4.101 Some examples of Remaining Early Signs in Richmond.



Fig. 4.102. 34 Swan St.

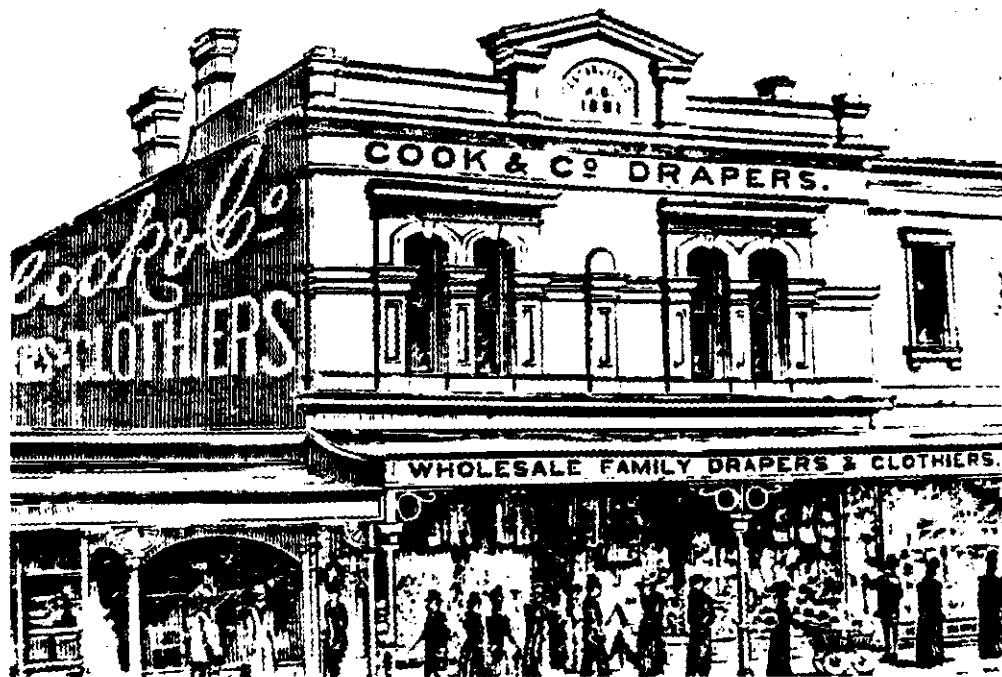


Fig. 4.103. Swan St. (opposite National Bank) demolished.

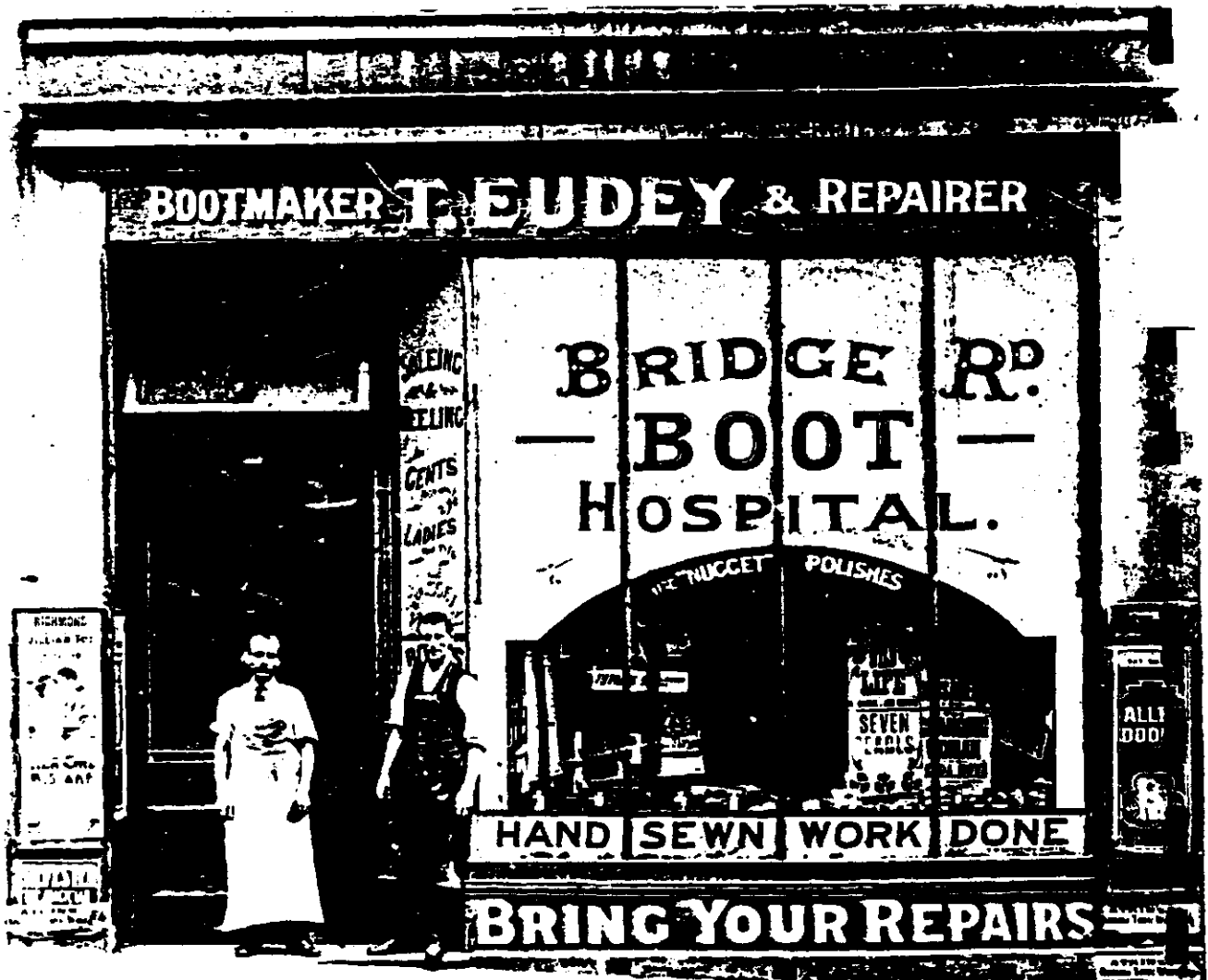


Fig. 4.104. Bridge Rd.

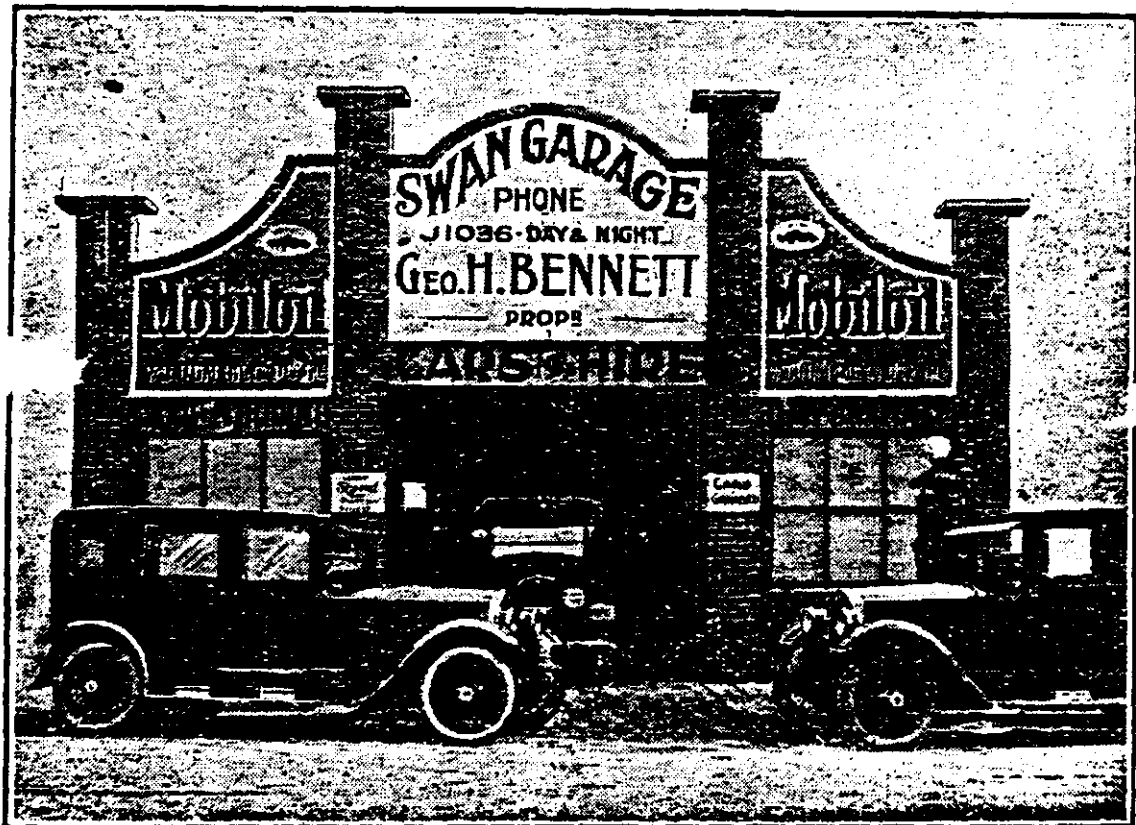
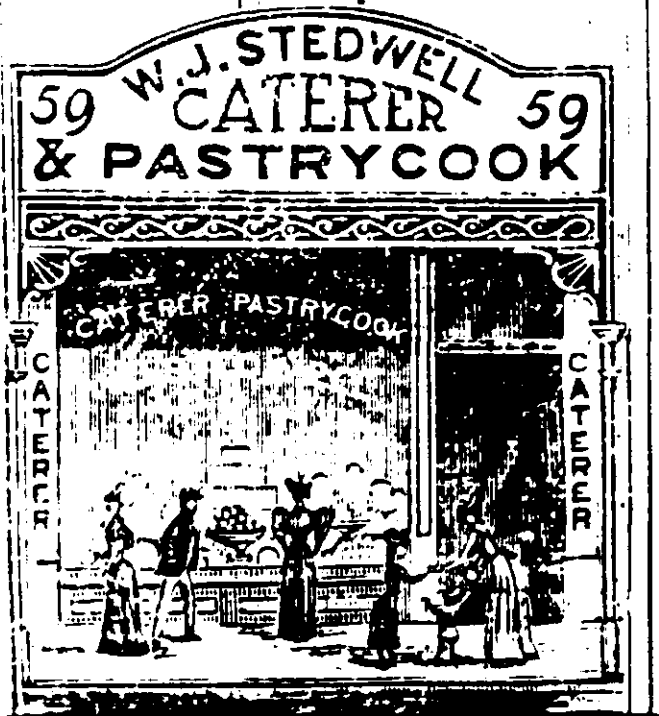


Fig. 4.105. Inter War Sign Scheme, 265 Swan St.

TERMIN OF ANY... THE...
 DESCRIPTION... ROOMS...
 ARRANGED... ALWAYS...

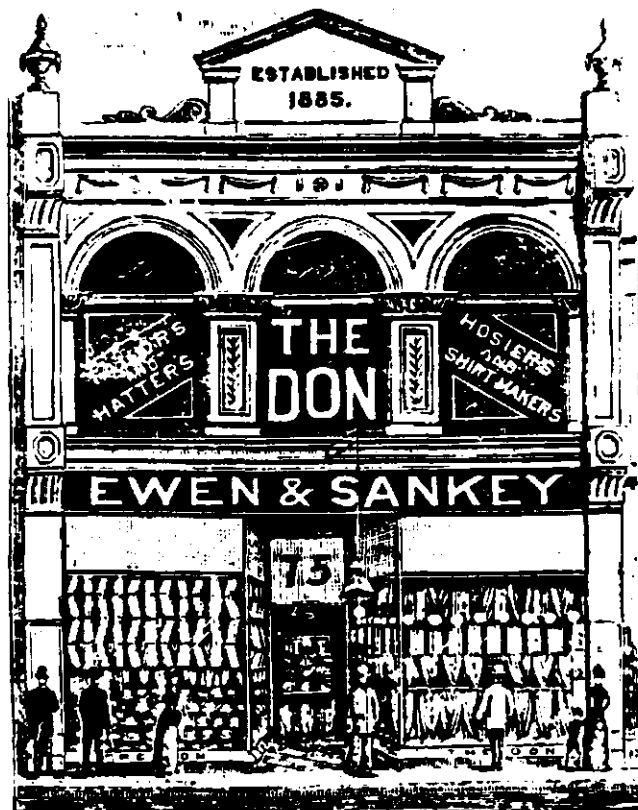


59 Swan Street. (demolished)



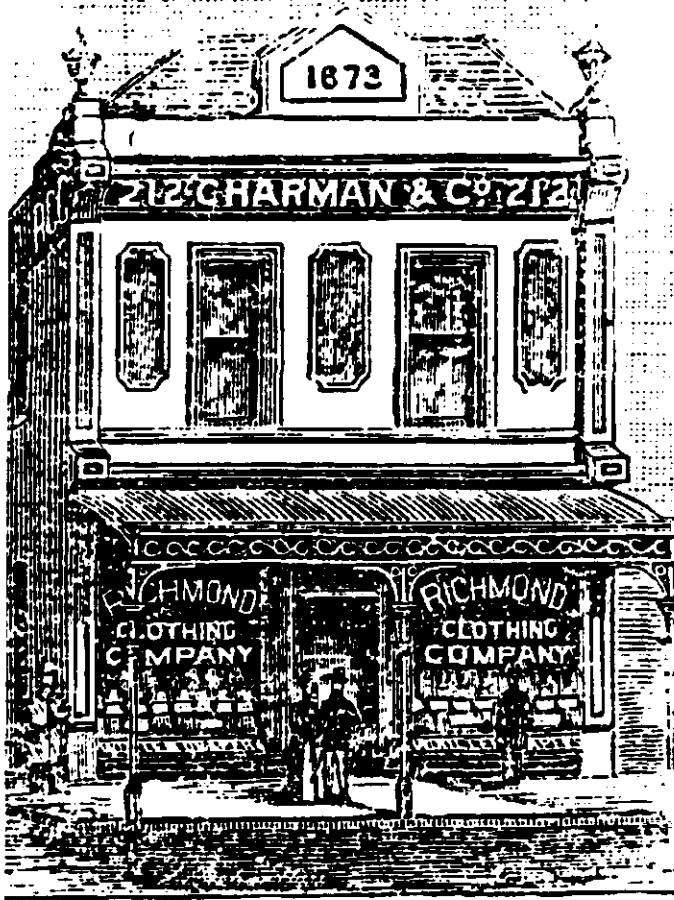
233 Lennox St. (demolished)
 [Similar to 219 Swan St.]

with the name of the establishment set out in gold... as we are next the forest in Melbourne and suburbs... women's outfitting. — *Illustration*



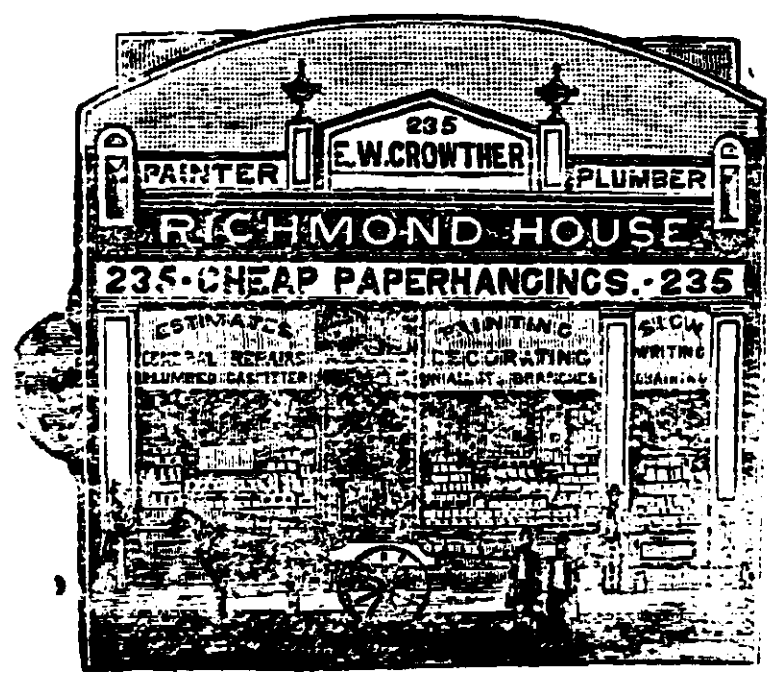
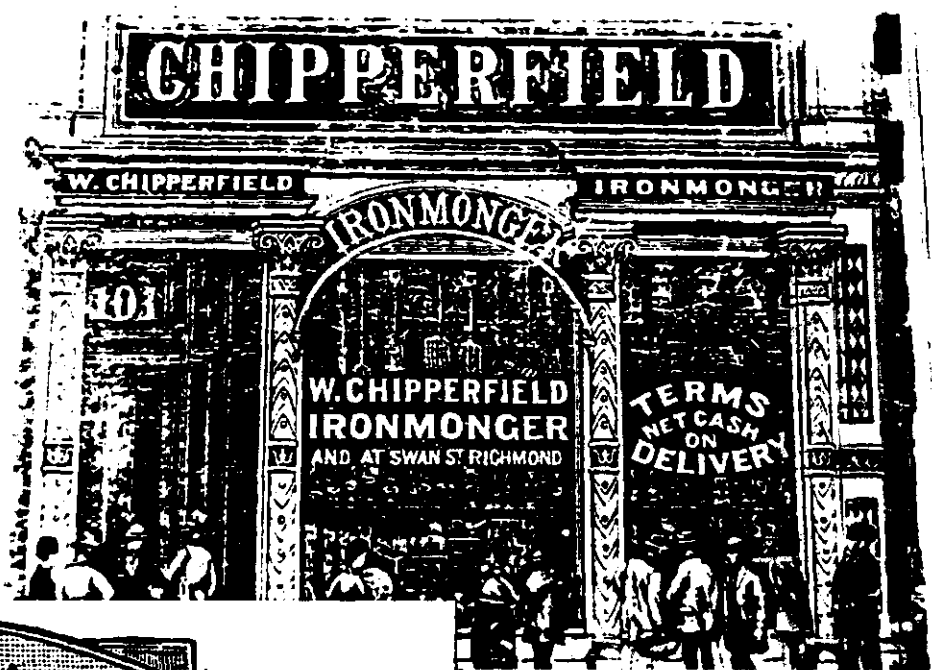
WINTER GOODS IN ALL DEPARTMENTS NOW SHOWING

THE DON,
 SWAN STREET, RICHMOND.
 95-97 Swan St. (75 Swan St., 1891)
 Fig. 4.106 EARLY SIGN SCHEMES.



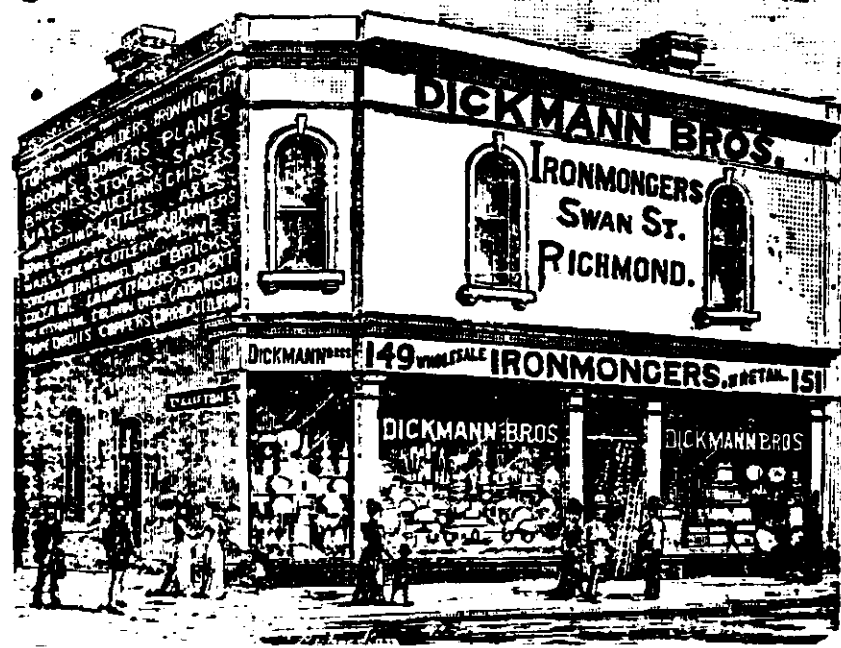
212 Swan St. (demolished)

g,
rong
P.
Bur
THU
tion
ches



235 Bridge Rd.

Estimates Given Location unknown
Post Cards Provided Attended To



149 Swan St.
Fig. 4.107 Early Sign Schemes



123, 125 Swan St.

Grotesque Sans Serif

**S. GREEN
HAIR DRESSER**

Ionic (Fat Clarendon)

SURGERY

Egyptian (Antique)

ROSSITER & CO

Tuscan

**WILLIAM SAM
BOARDING HOUSE**

Fat Face

ENGINE

Grotesque Sans Serif Compressed

GENERAL BLACKSMITH

Fig. 4.108 Appropriate Lettering Styles for Signs.

Signs on houses should be located on the fence.

Max sign size 600mmx450mm

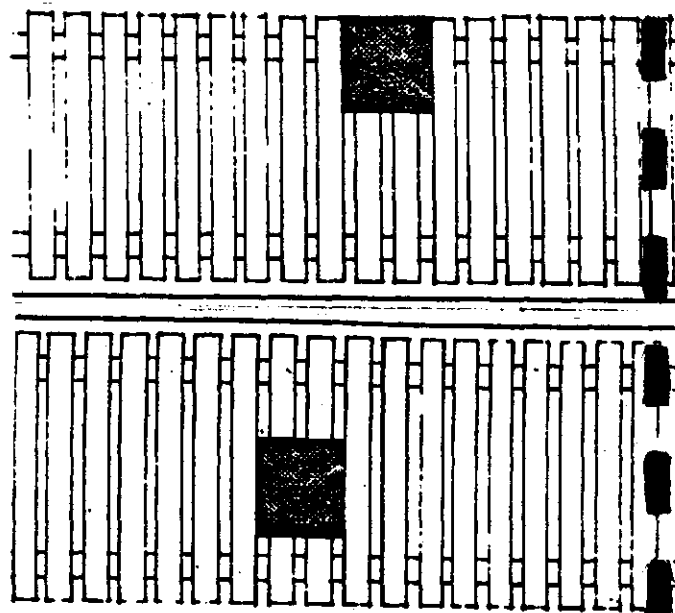
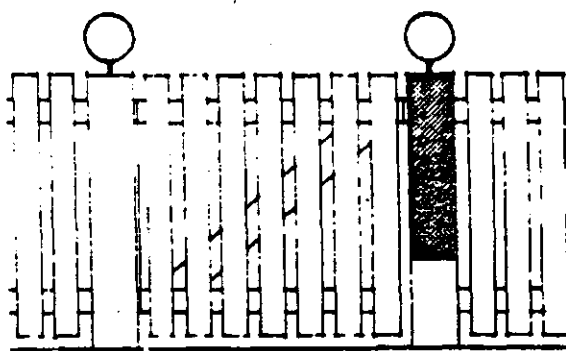


Fig. 4.109 Appropriate Locations for Signs on Fences.

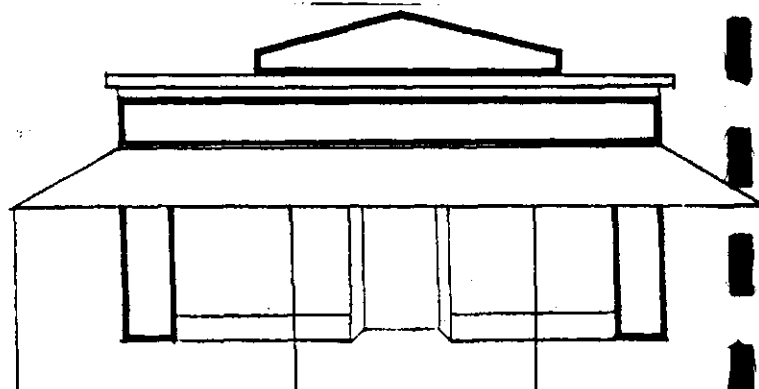
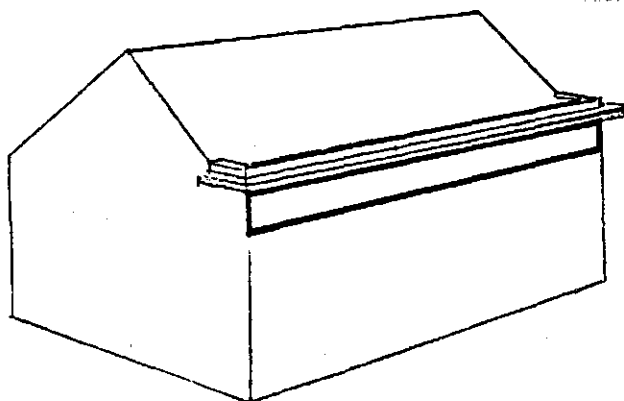
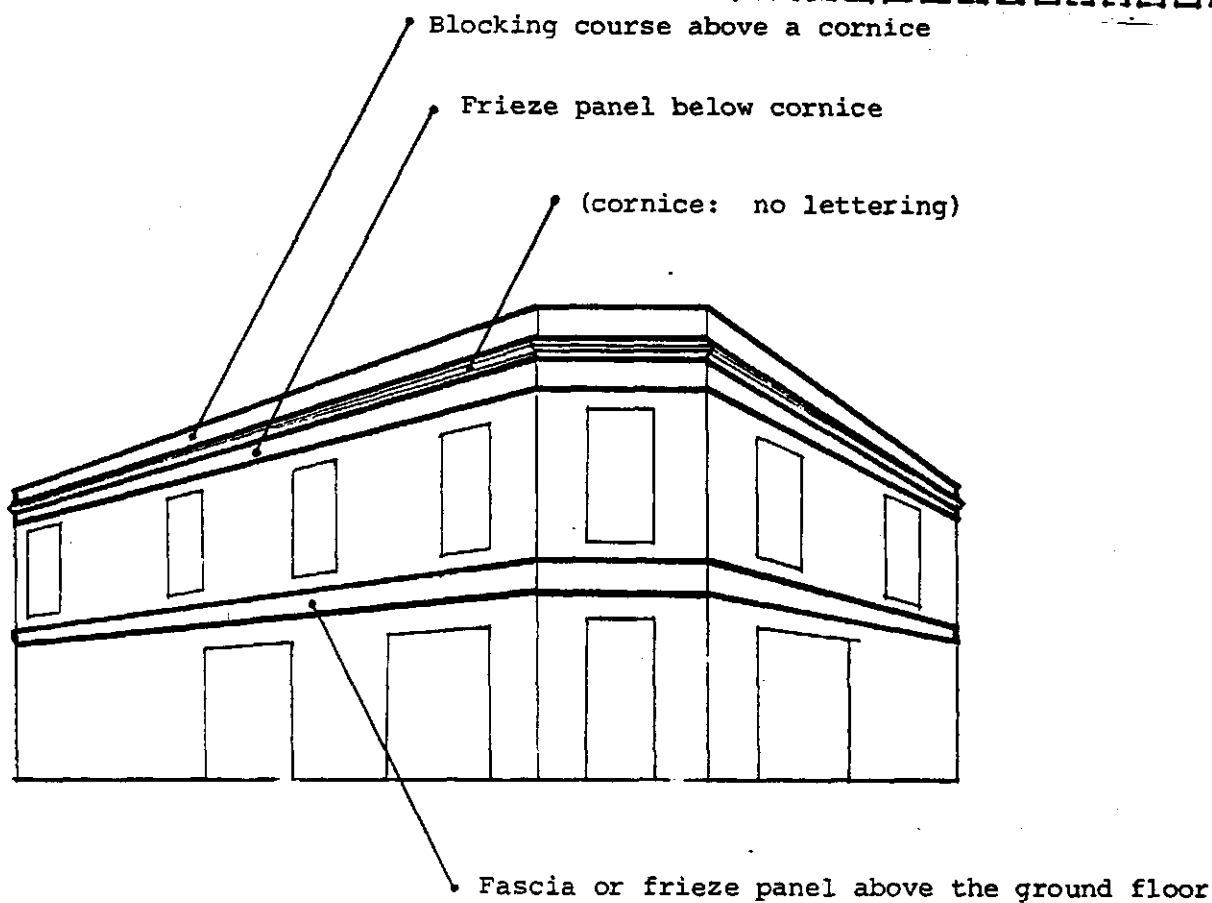


Fig. 4.110 Appropriate Locations for Signs on Commercial Buildings.

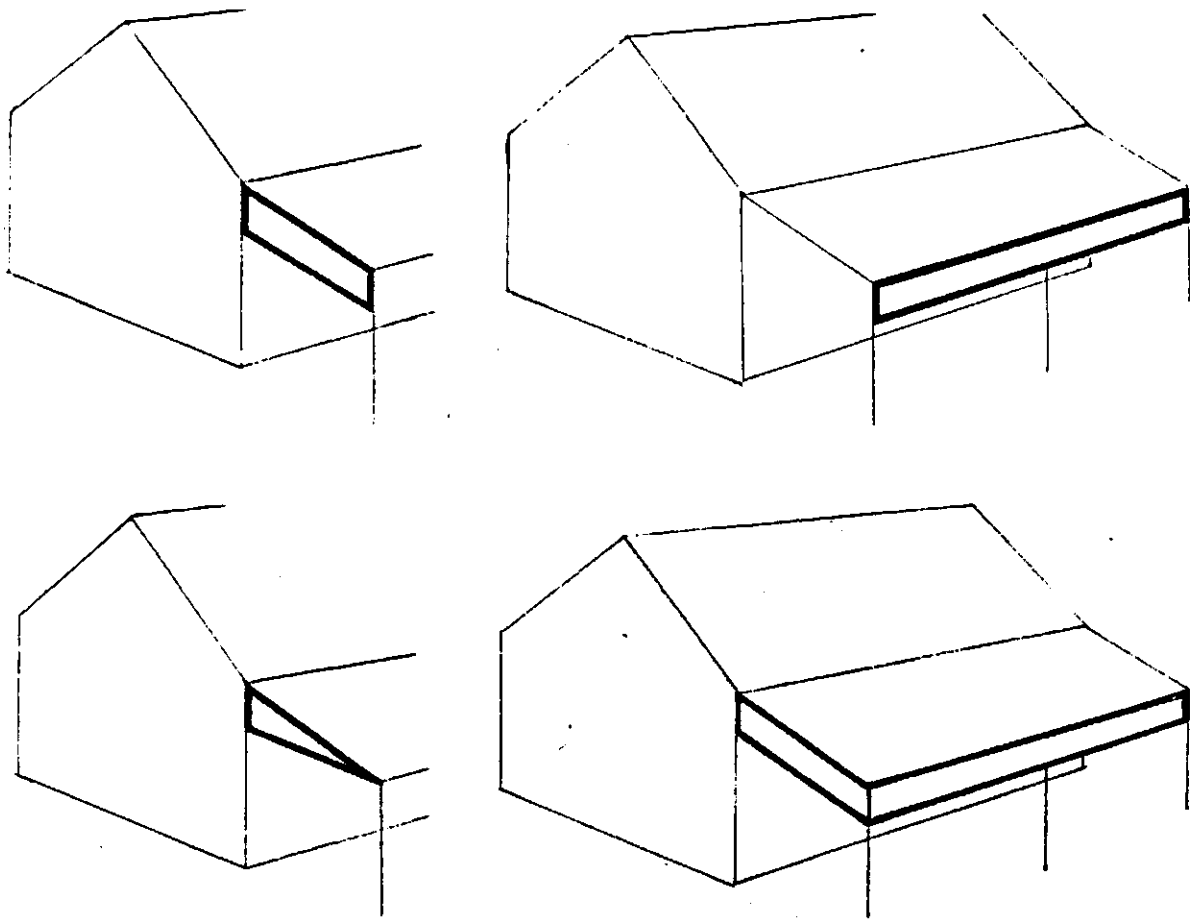
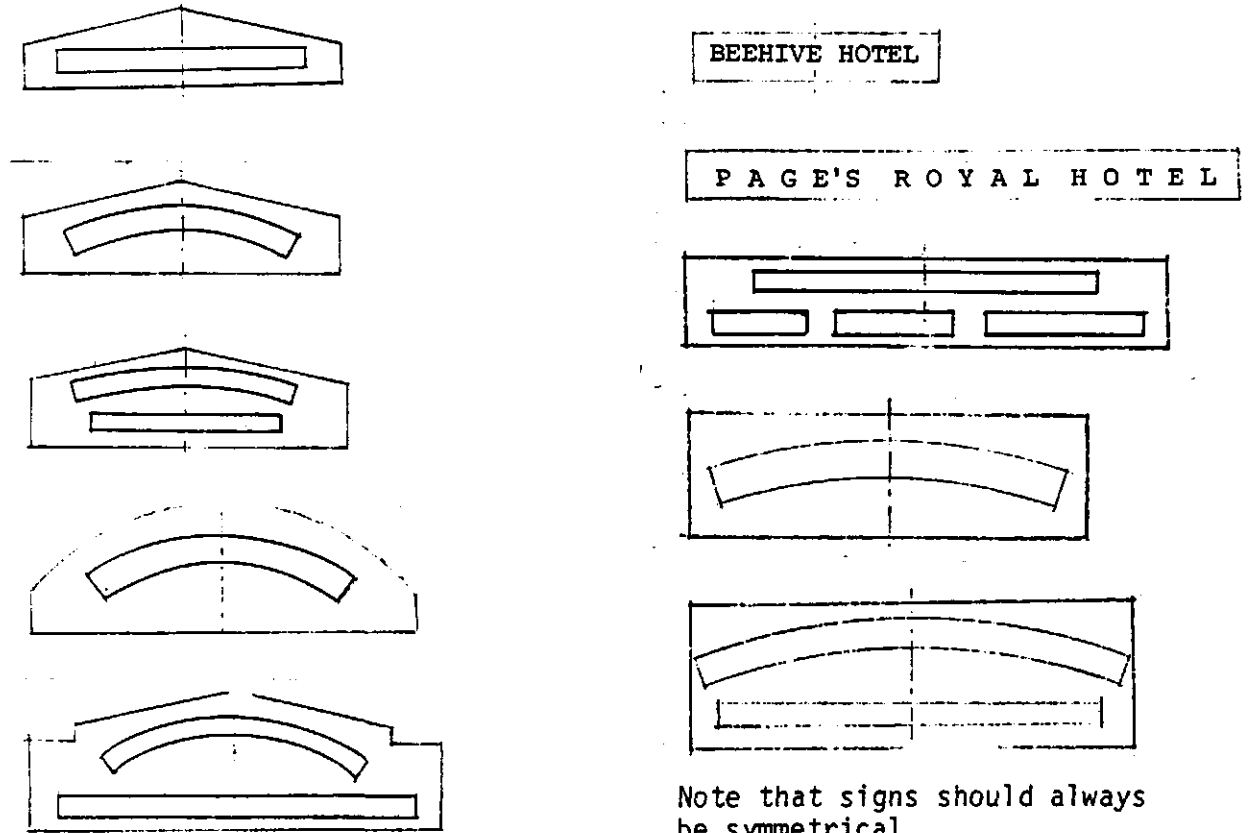


Fig. 4.111 Appropriate Locations for Signs on Shop Verandah



Note that signs should always be symmetrical.

Fig. 4.112 Appropriate Sign Layouts.

4.6 SPECIFIC GUIDELINES

4.6.10 STREETWORKS

All streetworks alterations to be towards restoration in conservation areas. Elsewhere the approach should be CONSERVATIVE.

STREETPLANTING Only a few streets and areas now retain avenues of mature trees. These include Elm Street, Highett Street (east), The Vaucluse, Barkly Gardens, Bridge Road to Burnley Park walkway and the Burnley Horticultural Gardens. All these areas have in common a unique quality of environment only such planting can provide (fig. 4.113, 4.114, 4.115).

Many other streets in Richmond have had similar avenues removed, such as Stanley Street, while others have been planted with inappropriate native shrubs which will never achieve the shade, scale and historic and landscape quality of the original exotic or exotic looking species. Based on remnant species in Richmond and on planting in other similar areas the following trees are recommended in order of preference:

English Elm	Ulmus Procera
Dutch Elm	Ulmus x hollandica
London Plane	Platanus x acerifolia
Oriental Plane	Platanus Orientalis
Pin Oak	Quercus Palustris
Silky Oak	Grevillea Robusta (native)
Desert Ash	Fraximus Oxycarpa (Inter-War areas)
Pepper Tree	Schinus Molle (Parks)

The planting of inappropriate native species, although fashionable, should be discouraged in historic urban areas such as Richmond.

Where streets are too narrow for avenue planting and islands have been created by modern streetworks, the planting of single trees in each island would do much to soften the intrusion of such works and would enhance the overall streetscape.

ROADWORKS The nineteenth century character of Richmond's streets depends significantly on the unifying asphalt finish, articulated by bluestone kerbing and channelling and these features should be retained, particularly in Conservation Areas (fig. 4.116).

4.6 SPECIFIC GUIDELINES

4.6.10 STREETWORKS

ROADWORKS (Cont'd)

There has been a growing recognition by some councils of the advantages of retaining bluestone kerb and gutters as they absorb some of the surface run off as well as helping street trees resist drought periods. Modern trends in street design should not be applied to Richmond without due consideration. It is inconsistent to require private individuals to conform to conservation controls if the municipality is introducing inappropriate modern streetworks without regard to the historic context of an area.

Asphalt is the most appropriate finish for both roadways and footpaths and the expensive modern alternatives, currently popular, of brickpaving and concrete interlocking blocks should be avoided.

In addition, a few residential streets, notably the Vaucluse, have brick gutters and large bluestone spoon drains and it is recommended that these contributory elements be retained (fig. 4.117).

STREET FURNITURE All original items of street furniture such as bluestone bollards and cast iron gas light bases etc. should be retained and restored by the Council (fig. 4.118 and 4.119). Bench seats should have timber slats and wrought iron ends (fig. 4.120) to fit in with predominantly Victorian streetscapes. Cast iron ends to be used only where a precedent for the design can be established.

Such small items as appropriate litter bins can also do much to enhance an overall effect (fig. 4.121).

STREET LIGHTING If in certain locations original light standards are to be reinstated, then the design should be copied from the original (fig. 4.116, 4.119 and 4.122). Romantic interpretations look inauthentic and should not be used. Generally, plain modern street lighting is appropriate, provided excessive height, long cantilever arms, high intensity lighting levels and sodium lights are avoided. Light levels should be low and the lights spaced as far apart as possible, consistent with previous requirements and public safety.



Fig. 4.113 Avenue of Elms,
The Vaucluse.



Fig. 4.114 Avenue of Planes,
Elm St.



Fig. 4.115 Elm Grove, pre 1900



Fig. 116 Richmond Terrace, c. 1900
Note footpath and gutter finishes
and gas street light.

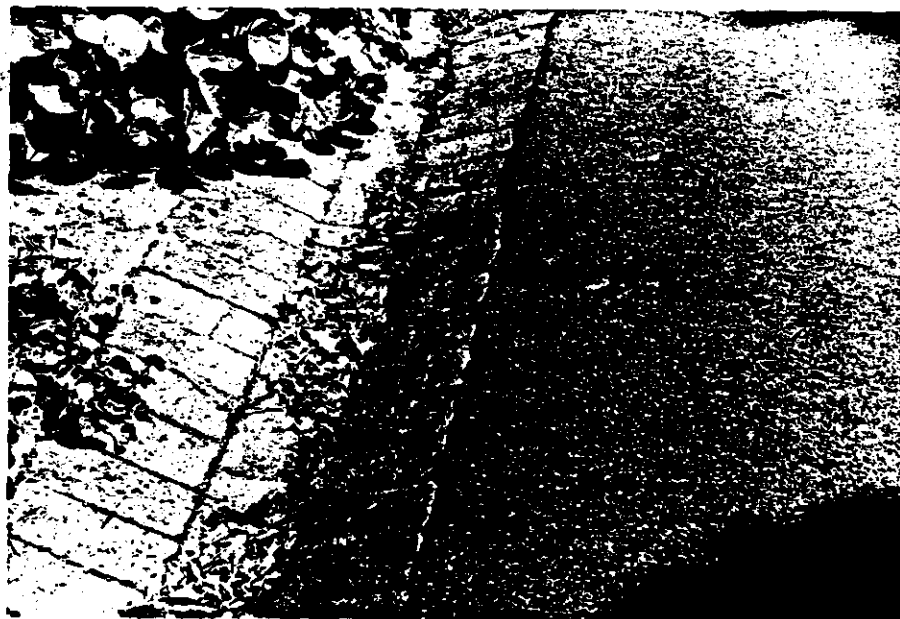


Fig.117 Brick Gutter, The Vacluse.



Fig. 4.118 Original Bluestone Bollard, Firebell Lane.

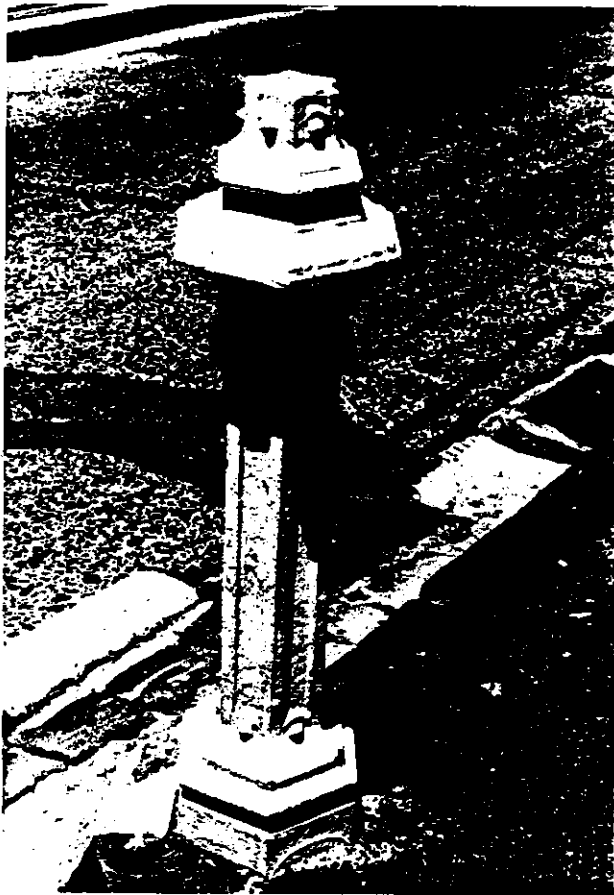


Fig. 4.119 Original Gas Street Light Base,
Cnr. Lennox and York Street.

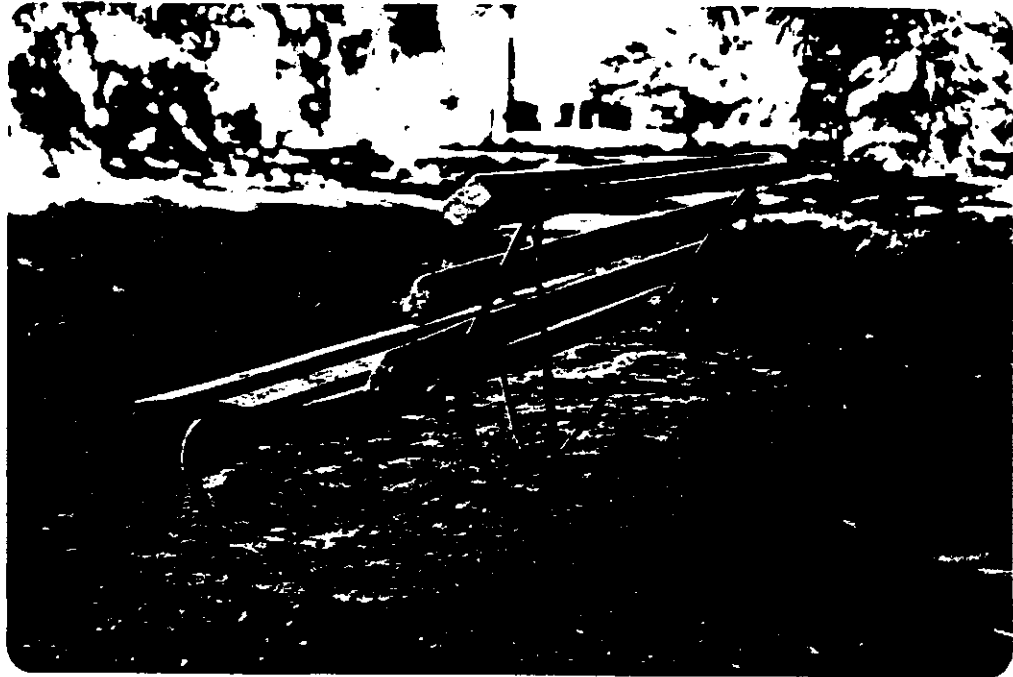


Fig 4.120 Appropriate Bench Seat



Fig. 4.121 Appropriate Litter Bin



Fig. 4.122 Original Gas Street Light
316 Church St, 1873.

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5.0 APPENDICES

5.1 AUTHORITIES INVOLVED IN CONSERVATION CONTROLS OVER BUILDINGS AND AREAS.

SUMMARY TABLE

LEVEL OF GOVT.	COMMONWEALTH	STATE	LOCAL	COMMUNITY
AGENCY	AUSTRALIAN HERITAGE COMMISSION	HISTORIC BUILDINGS COUNCIL CLASSIFICATIONS, PERMITS, FINANCE, PUBLICATIONS AND EDUCATION	REGIONAL PLANNING AUTHORITY AND/OR LOCAL COUNCIL	NATIONAL TRUST
LEGISLATION	AUSTRALIAN HERITAGE COMMISSION ACT 1975	HISTORIC BUILDINGS ACT 1981	AMENDMENT 224 TO THE MELBOURNE METROPOLITAN PLANNING SCHEME	
IDENTIFICATION DOCUMENT	NATIONAL ESTATE REGISTER	HISTORIC BUILDINGS REGISTER	PLANNING SCHEME OR INTERIM DEVELOPMENT ORDER	NATIONAL TRUST REGISTER
CONTROLS	Approval of Works if owned by Commonwealth or works funded by Commonwealth	Permits for alterations and/or demolition. Approval of Minister for Planning and Environment before alteration or demolition.	Demolitions and/or alterations and/or new buildings are subject to permits in Urban Conservation Areas.	No Control
FINANCIAL ASSISTANCE	Provision of Direct Assistance under National Estate Grants programme.	Provision of direct financial assistance. Eligible for special rating. Provision for rates and land tax remission.	Limited financial assistance depending on municipality. (State Government provides restoration funds in some areas.)	
TECHNICAL ADVICE		Technical advice available from staff and members on works, etc.	Limited technical assistance depending on municipality (State Government provides advisory service in some areas).	Technical advice and assistance with works.
OTHER	Persuasive influence over works on and management of properties other than Commonwealth owned			Persuasive influence over demolition, works, etc.

5.1 AUTHORITIES INVOLVED IN CONSERVATION CONTROLS OVER BUILDINGS AND AREAS (CONT'D).

5.1.1 THE AUSTRALIAN HERITAGE COMMISSION (NATIONAL ESTATE REGISTER).

The Australian Heritage Commission is the Commonwealth Government's advisory body on all matters relating to the National Estate. Amongst its other functions, the Commission prepares a register of the National Estate. This register is intended to be a comprehensive official catalogue of all places of heritage value in Australia and includes natural areas, aboriginal places and historic structures and areas. Unlike the Historic Buildings Register, the Register of the National Estate embraces buildings both privately and publicly owned. Also, since it is primarily an inventory only, listing on the Register of the National Estate places no legal restrictions on the actions of local authorities, private corporations or individuals.

Approval of works is only required if the building/area is owned by the Commonwealth or if works are funded by the Commonwealth.

5.1.2 THE HISTORIC BUILDINGS COUNCIL (HISTORIC BUILDINGS REGISTER)

The Historic Buildings Council is a statutory authority established under the Historic Buildings Act, 1974 to identify, and find ways to retain and preserve buildings and objects that are of historic or architectural importance.

The Council assesses the historic and/or architectural importance of buildings submitted to it for appraisal. Those that are found to be of importance on a State wide basis may be recommended to the Minister for Planning and Environment for listing on the Historic Buildings Register.

When a building has been added to the Register, the Council maintains control over alterations or demolition through its permit issuing powers.

The Council has power also to recommend to the Government various forms of financial assistance to enable the owners of historic buildings to retain and maintain them and to ensure that they are economically viable.

The Historic Buildings Council aims to promote an awareness of the value of significant buildings among owners and the community at large and to encourage preservation through advice and technical and financial assistance. The permit process is a means to this end.

Owners of designated buildings are required to apply for a permit to carry out any alterations to the building, but are also eligible to apply for financial assistance in restoring the building to H.B.C. requirements.

5.1.3 HISTORIC BUILDINGS COUNCIL (GOVERNMENT BUILDINGS REGISTER)

The Historic Buildings (Amendment) Act 1983 requires the Council to assess the historic and/or architectural importance of government buildings submitted to it for appraisal. If approved, the building is recommended for inclusion on the Government Buildings Register.

The Act provides control over Government buildings only and includes any building on Crown Land, or land vested in any Minister of the Crown or public authority.

The relevant public authority is obliged to obtain a permit for any works affecting the external appearance of the building.

5.1.4 Melbourne and Metropolitan Board of Works (MELBOURNE METROPOLITAN PLANNING SCHEME) and (Richmond Planning Scheme).

Clause 8B of the Town and Country Act (Third Schedule) provides legislation for the protection of areas and has been incorporated in the Melbourne Metropolitan Planning Scheme in the form of Division 3B of the Ordinance and Conservation Area map "overlays".

Conservation controls have, as a result, been established in areas of special significance within the municipalities of Brunswick, Collingwood, Fitzroy, Melbourne, Port Melbourne, Richmond, South Melbourne, St. Kilda and Williamstown.

The areas designated contain some of Melbourne's earliest residential, commercial and industrial buildings, as well as the major metropolitan parks and boulevards. The new controls are not designed to stop development, but to ensure that it will add to and not detract from the character of these areas.

Within an URBAN CONSERVATION AREA NO. 1, which includes areas of significant architectural and historic character, a permit will be required for the demolition, external alteration or decoration of buildings and works and the construction of new buildings and works.

Within an URBAN CONSERVATION AREA NO. 2, which includes the areas surrounding the boulevards and parks, and the parks themselves, a permit will be required for the construction of new buildings and works to ensure that they are sympathetic to their surroundings.

In both areas a permit will be required for all advertising signs and for subdivision.

Further amendments to the Melbourne Metropolitan Planning Scheme will increase these areas.

A further Amendment to the planning scheme is being prepared to provide protection for individual buildings outside designated Urban Conservation Areas under Clause 8 of the Town and Country Planning Act (Third Schedule).

5.1.5 THE NATIONAL TRUST OF AUSTRALIA (VIC.)

The National Trust is a voluntary organization with some 20,000 members in Victoria. It does not provide controls over historic buildings or areas. Formed in 1956 it pioneered the identification and preservation of significant building and has now extended the scope of its classification system beyond buildings to include gardens and landscapes of significance. The Trust is actively engaged in community debate over conservation issues and frequently makes representation in the planning process which has led to a high public profile. The Trust also provides some limited advice, through its staff, on urban conservation issues.

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- 4.77 Ibid
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- 4.96 Authors
- 4.97 Ibid
- 4.98 Richmond Historical society
- 4.99 Authors
- 4.100 Ibid
- 4.101 Ibid
- 4.102 Latrobe Library Picture Collection
- 4.103 Ibid
- 4.104 Ibid
- 4.105 Ibid
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Port Phillip Patriot
Richmond Australian
Richmond Guardian
Table Talk
Post Office Directories

MAPS

All maps are held at the Latrobe Library -

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Magee, John Steel	1855 Municipal Map of Richmond drawn from Hodgkinson survey.
Kearney, James	1855 Lands Dept. map of Richmond from James Kearney survey.
Noone, J.	1865 Lands Dept. map of Burnley allotments drawn from J. Noone survey.
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Miscellaneous Subdivision Maps

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Ratebooks	From 1857 onwards
Index of builders, owners and buildings	From 1893 onwards
Magee, John Steel	1855 Municipal Map of Richmond drawn from Hodgkinson survey.

RICHMOND CONSERVATION STUDY



VOLUME 2.





*Town Hall
Richmond, Vic. 3121*

COMMISSION OF THE CITY OF RICHMOND

PHONE 428 3131

COMMISSIONER A. G. GILLON O.B.E., J.P.

Your Ref:

Our Ref:

THE RICHMOND URBAN CONSERVATION STUDY

The completion of this Conservation Study hereby represents a significant milestone for Richmond. I commend it to you and endorse its recommendations in principle.

I use the term "in principle" because the Conservation Study is just one part of an overall strategy plan being proposed for Richmond. This means that conservation controls will be considered in the wider context of other matters just as economic development, housing, traffic management and the like. There will inevitably be conflicting objectives and these must be reconciled by Council, in due course, after extensive public consultation.

It seems that controls over the preservation of our built heritage are almost always "too late", no matter when they are introduced. Nevertheless, I believe we have done the best job within the available resources and that the release of the Study is timely, given the increasing pressure for large scale redevelopment that Richmond is experiencing.

Council is grateful to the National Estates Committee, the Historic Buildings Council and the Melbourne and Metropolitan Board of Works in providing funding for the Study. Undoubtedly credit is due to the consultants who have done a superb job and to our Urban Conservation Advisory Committee for guidance and overall direction.

I look forward to the implementation of the Study and its impact on Richmond.

COMMISSIONER A. G. GILLON, O.B.E., J.P.

RICHMOND CONSERVATION STUDY

UNDERTAKEN FOR THE CITY OF RICHMOND,
THE AUSTRALIAN HERITAGE COMMISSION,
AND THE MINISTRY FOR PLANNING AND ENVIRONMENT

VOLUME 2.

INTRODUCTION
BACKGROUND HISTORY
RECOMMENDATIONS
GUIDELINES
APPENDICES

BY JOHN & THURLEY O'CONNOR, ARCHITECTS,
10 SEFTON PLACE, CAMBERWELL

AND

ROS COLEMAN & HEATHER WRIGHT, ARCHITECTS,
14 AILSA GROVE, IVANHOE

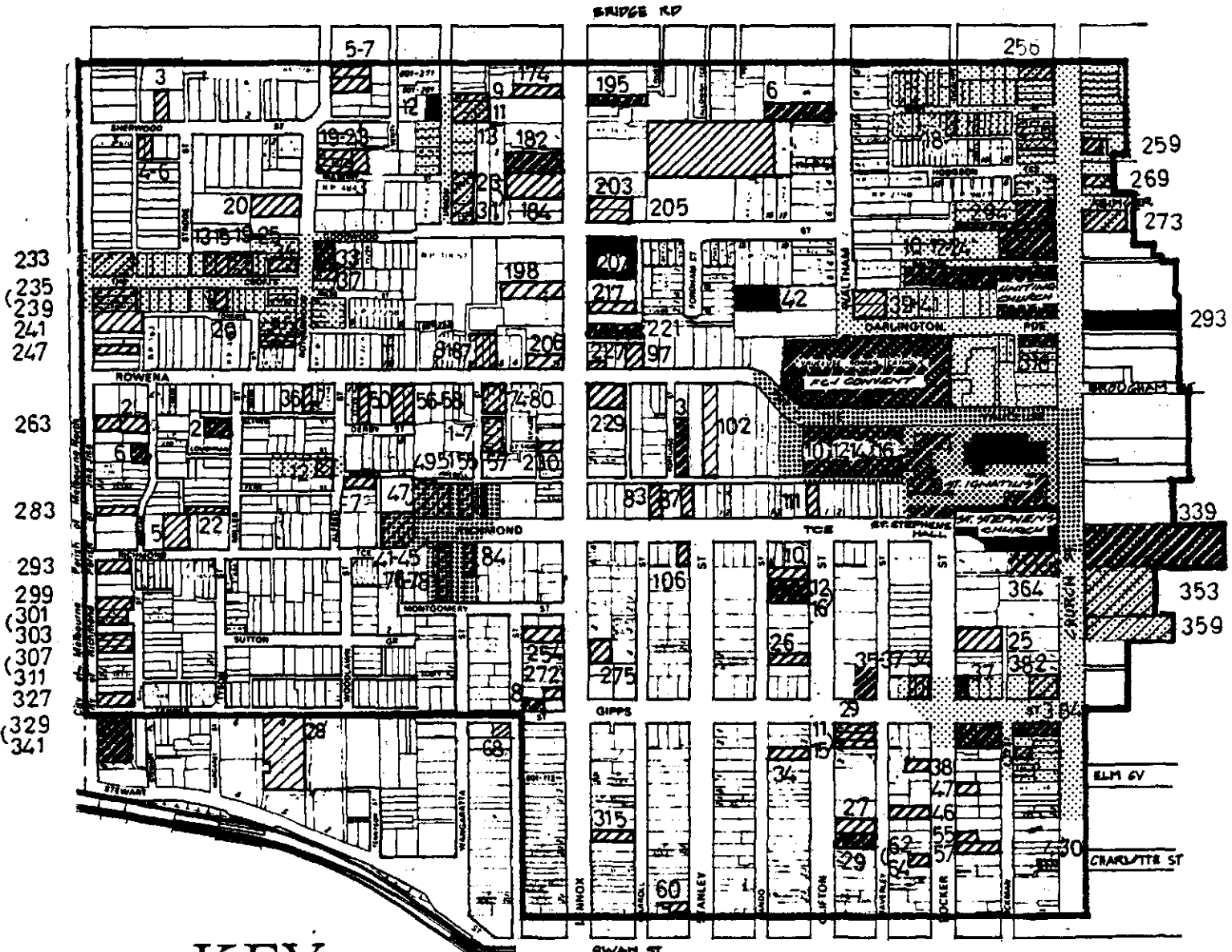
JANUARY 1985

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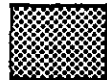




FOR C & D BUILDINGS REFER TO CITY OF RICHMOND
TOWN PLANNING DEPARTMENT

6.0 CONSERVATION AREAS

6.1 RICHMOND HILL



KEY

-  CONSERVATION AREA BOUNDARY
-  STREETSCAPE LEVEL 1
-  STREETSCAPE LEVEL 2
-  A BUILDING
-  B BUILDING
-  C BUILDING

MAP





The Crofts, looking east, 1984.

6.1.1 History and Description

The land in this area was purchased from the Crown in 1839, and consisted of eight allotments each of 25 acres. The purchasers were Dr. Farquhar, McCrae (surgeon), Rev. Joseph Docker (squatter), W.H. Yaldwyn (squatter, banker), H.G. Brock, J. McNall (Melbourne's first butcher) and Charles Williams (auctioneer), (fig. 6.1).

In 1840 McCrae sold two acres of his allotment, to Charles Williams who erected 'Jasmin Cottage' on the east side of what later became Strode Street. This was sold to George Arden, then Thomas Strode who were the proprietors of the Port Phillip Gazette.¹ Also in 1840, McCrae had 36 half acre blocks subdivided and Rowena Parade, Sherwood and Rotherwood Streets were laid out (figs. 6.2, 6.3). His brother Alexander McCrae, who became Victoria's first Post Master General in 1851, purchased an acre on the corner of Rotherwood and Sherwood Streets and erected a prefabricated timber house there in 1840 (figs. 6.4, 6.5, 6.6, 6.7).² Another purchaser was Alfred Woolley who built a timber cottage on the north corner of Rowena Parade and Punt Road in 1842.³ Judge Pohlman lived here from 1843-77 (fig. 6.8).⁴ Similar early timber cottages still exist at 5, 7, 9 and 37 Rotherwood Street. Further subdivisions had occurred to McCrae's allotment by the 1870's (fig. 6.9) and 1880's (fig. 6.10). Farquhar McCrae died in Sydney in 1855.

1. White, J.U. Early Residents & Property Owners in Richmond, 1979, pp.1,14.
2. McCrae, Hugh. ed. Georgiana's Journal, p.169.
3. Port Phillip Gazette, 12.5.1842.
4. White, op.cit. p.12.

Yaldwyn sold his allotment to W. Meek in 1840, and by 1853 the Waltham Street and Darlington Parade areas were subdivided (figs. 6.2, 6.3) and further subdivided in the 1880's (fig. 6.10). The Vacluse area was laid out in the 1860's and a private street was created to link Rowena Parade and Church Street. It was further subdivided in 1874 (figs. 6.11, 6.12). The Vacluse remains as the only private street in the inner suburbs, and it has at its eastern entry the cathedral of St. Ignatius which in 1867 replaced a prefabricated timber house dating from the 1840's (fig. 6.13). The mansion 'Richmond Hill' belonging to James Henty (merchant) was built in Waltham Street in 1851 (figs. 6.14, 6.15), and was demolished in 1928 to make way for the Pelaco factory. Next door the distinguished architect James Blackburn junior constructed his two storey Italianate house which still stands with a block of modern flats in its front garden at 42 Waltham Street (fig. 6.15).

Docker had subdivided his two allotments by 1853 (figs. 6.2, 6.16) and the 1857 ratebooks record that he owned many of the houses built on these allotments. His own townhouse was at 370 Church Street (fig. 6.17), while his principal residence was at 'Bontharambo', Wangaratta. By the 1880's this area was almost fully developed (fig. 6.18).

Brock's allotment was purchased by overlander John Gardiner⁵ who erected a villa on it to retire from his grazing activities and to take up the position of managing director of the Port Phillip Bank in 1840.⁶ By 1853 Lennox Street, Rowena Parade and Goodwood Street had been laid out. Further subdivisions occurred in the 1870's and 1880's. The mansion 'Pine Grove' was built for Dr. Thomas Black in 1844 (figs. 6.15, 6.19). Black and Farquhar McCrae were the first to administer chloroform in Victoria. George Coppin, actor and entrepreneur, extended the house and lived there from 1864 to 1906. Pine Grove was also demolished for the Pelaco factory.

The allotment purchased by McNall had undergone minor subdivision by 1853 (fig. 6.2). McNall erected his house here, in which his widow continued to live following his death in the 1850's.⁷ In 1859 the railway and Richmond station were constructed on the allotment and major subdivisions had occurred by the 1870's and 1880's (figs. 6.9, 6.10, 6.20).

Most of the streets in the two allotments owned by Williams were laid out by 1853 (fig. 6.2). By 1855 villas with large gardens and orchards had been established in Church Street between Brougham and Elm Streets (fig. 6.3). Of these villas, numbers 353 (Doery House) and 333 (Messenger House, formerly Stonehenge) have survived, although the latter which was built pre 1843 for Capt. John Roach⁸ and remodelled in the Edwardian period has been drastically defaced (fig. 6.63).

6.1.2 Statement of Significance

The special character of the Richmond Hill area is due to the irregular street patterns dating from the early 1840's; the diversity of form, scale and style of its buildings; and its associations with some of Melbourne's most prominent early settlers and their residences. The hilltop is dominated by three very fine churches - St. Ignatius (1867-1927), St.

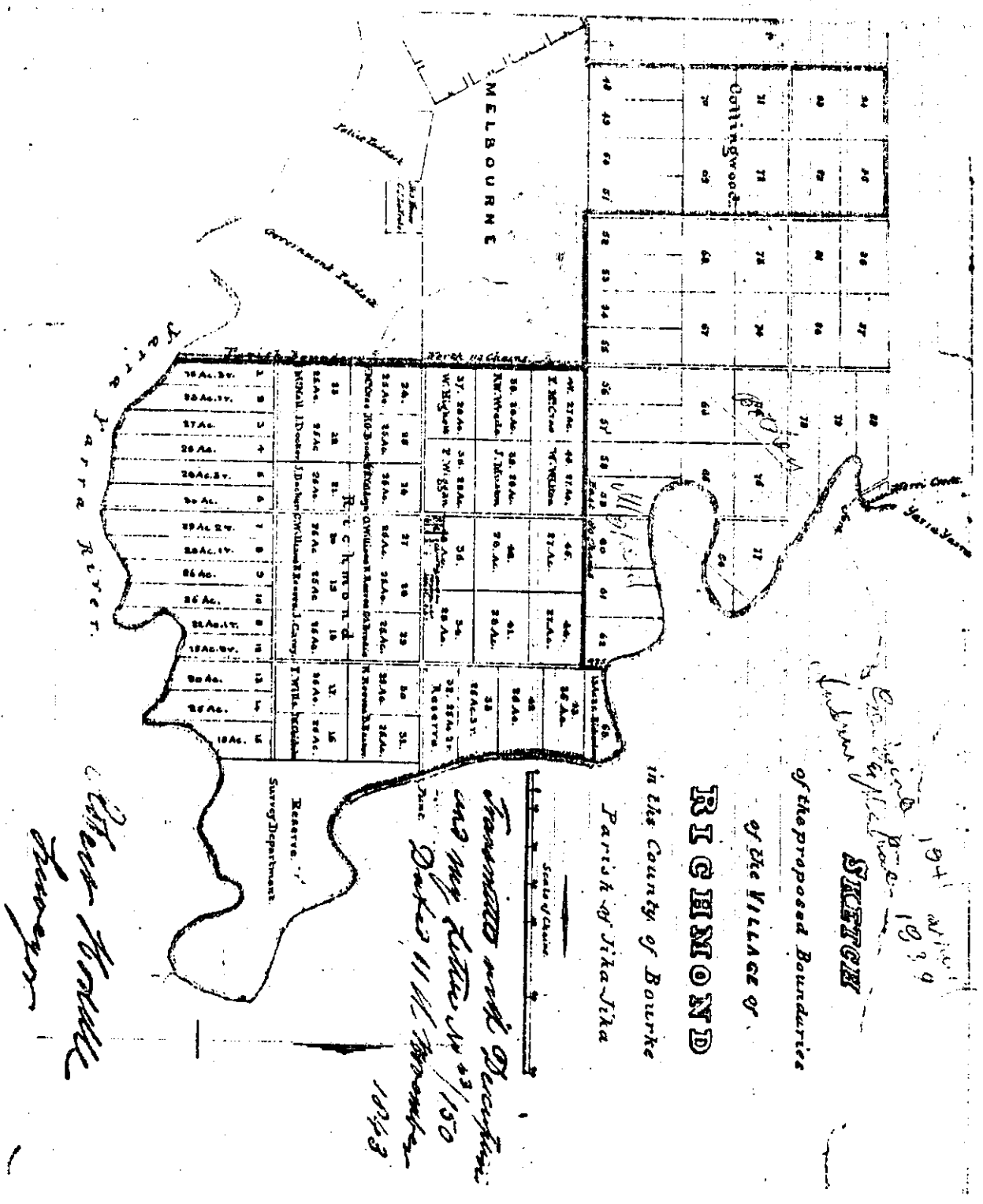
5. Port Phillip Patriot, 29.8.1839.

6. Ibid, 11.6.184.

7. White, op.cit. p.10.

8. White, op.cit. p.13.

Stephens (1850) and the Uniting Church (1853). Other individual buildings of the highest significance are houses at 12 Union Street, 207 Lennox Street and 293 Church Street. 'Orwell Cottage' built c. 1848 is probably the oldest surviving house in Richmond that is substantially intact.



STREET

of the proposed Boundaries

of the Village of

RICHMOND

in the County of Bourke

Parrish of Tika-Tika

Scale of Chain

*Transferred with Description
and Map filed 10/3/1950
Date Dated 11/11/1943*

10/4/3

Survey Department

Reserve

John Brown

1941 12/10/1941

Fig. 6.1 Richmond Crown Allotments

OF THE
CITY OF MELBOURNE. 6.

AND ITS EXTENSION,
(TOGETHER WITH)
**COLLINGWOOD, RICHMOND,
HAWTHORNE, THE EMERALD HILL,
and a portion of PRAHRAN.**

(Compiled from the Government Plans and Private Survey

By *William Green*
Surveyor and Land Agent
39 Queen Street
Melbourne



Fig. 6.2 Green's 1853 map

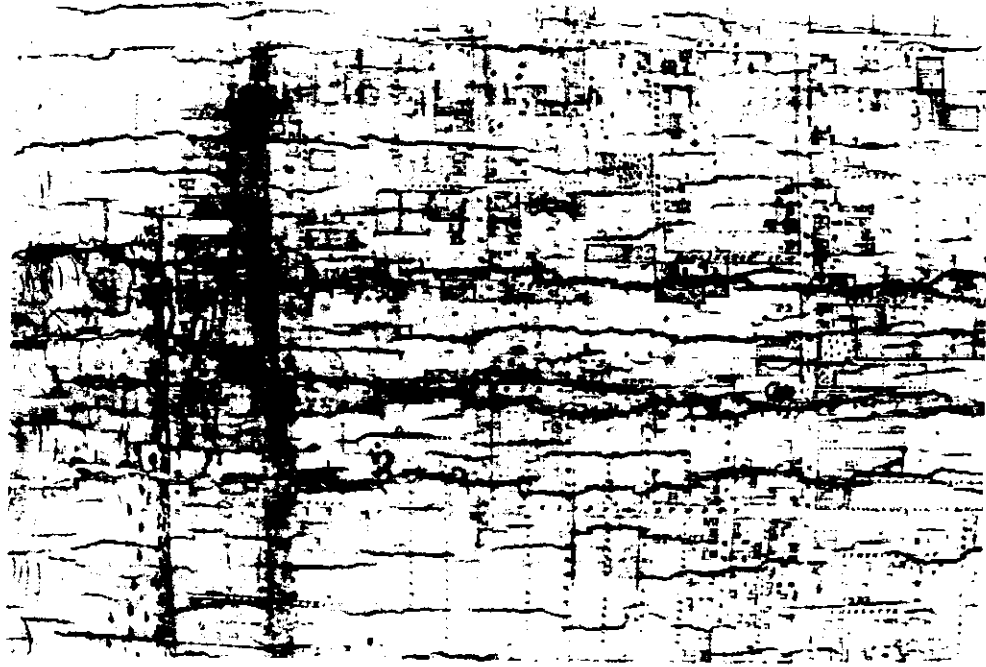


Fig. 6.3 Richmond Hill, 1855

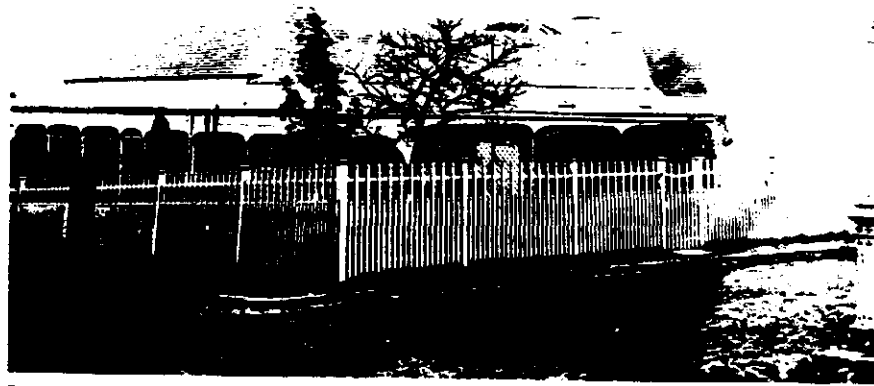


Fig. 6.4 Alexander McCrae's prefabricated timber house, cnr. Rotherwood and Sherwood Streets, photo c. 1870 (demolished)



Fig. 6.5 Alexander McCrae's prefabricated timber house, cnr. Sherwood and Rotherwood Streets, during demolition, 1970's



Fig. 6.6 Front verandah of Alexander McCrae's prefabricated house, 1970's



Fig. 6.7 Front verandah detail of Alexander McCrae's prefabricated timber house, 1970's

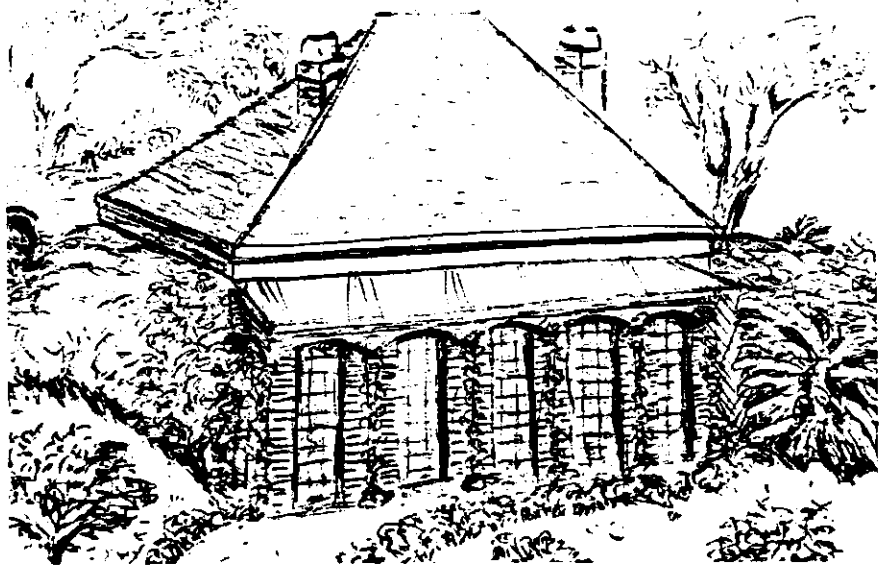


Fig. 6.8 Judge Pohlman's house, cnr. Punt Road and Rowena Parade, 1841 (demolished)

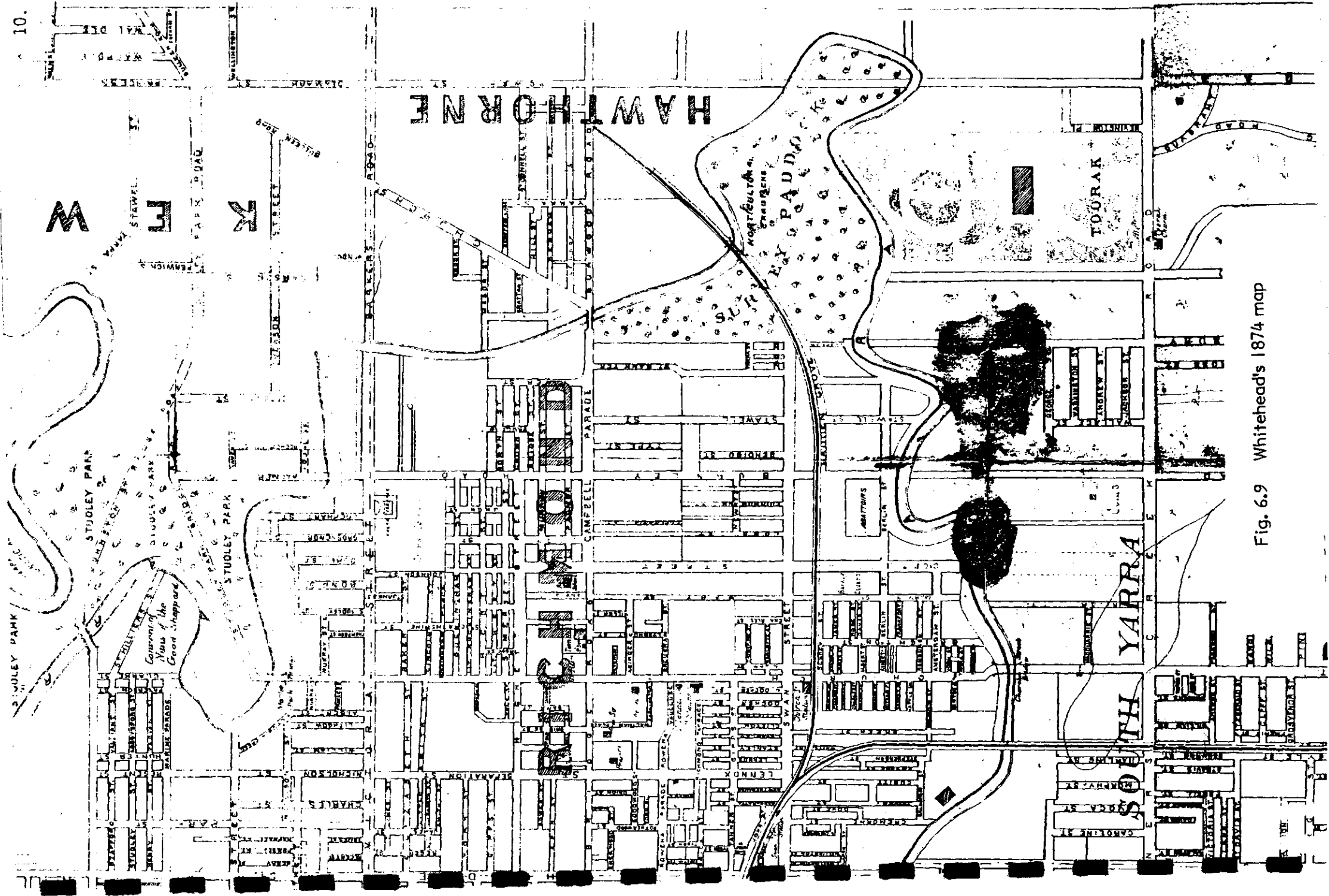


Fig. 6.9 Whitehead's 1874 map

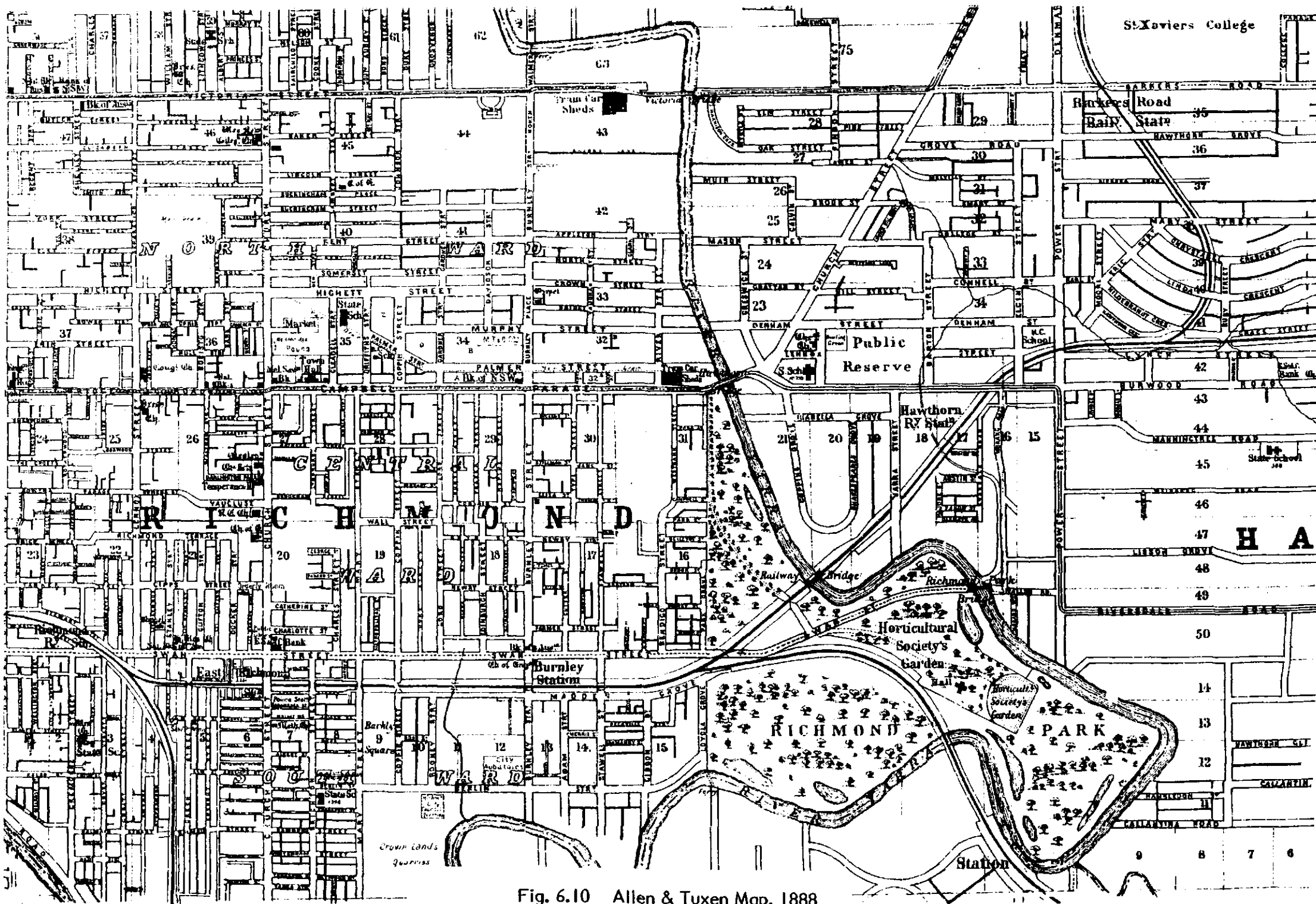


Fig. 6.10 Allen & Tuxen Map, 1888



Fig. 6.11 View from Richmond Town Hall with Vauclose in the background, c. 1873

VAUCLUSE, RICHMOND

Barish of *St. John*, County of *Dorset*

THE PROPERTY OF

R. R. Woolcott, Esq.

To be sold by Public Auction by C. J. & T. HAM on the 17th JANY 1874

SCALE 80 FEET TO AN INCH

W. H. Sturt
Surveyor
 17, Abchurch Lane, London, E.C. 4

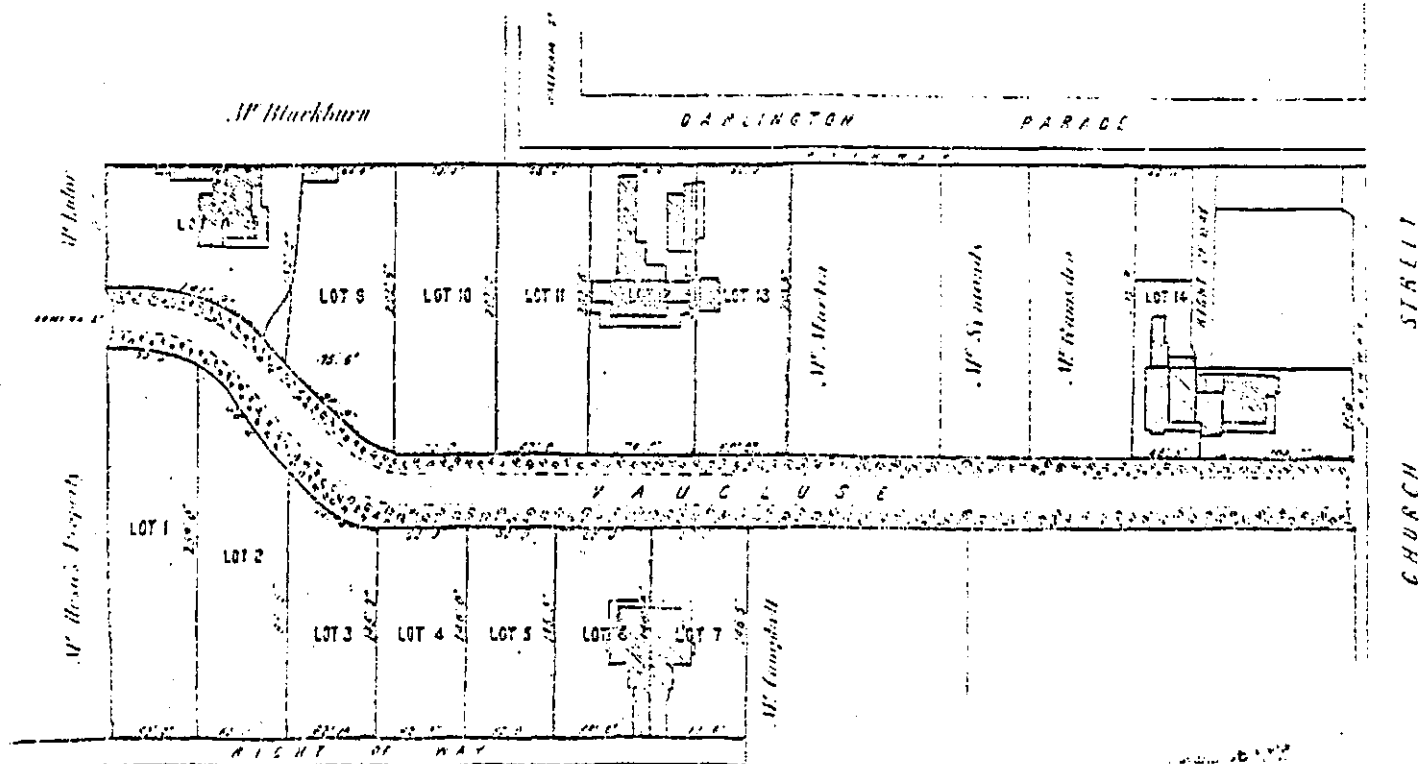


Fig. 6.12 Plan of Vauclose subdivision, 1874



Fig. 6.13 1840's Prefabricated House,
formerly on the site of St. Ignatius, Church Street



Fig. 6.14 Home of James Henty, Waltham Street,
c. 1851 (demolished)

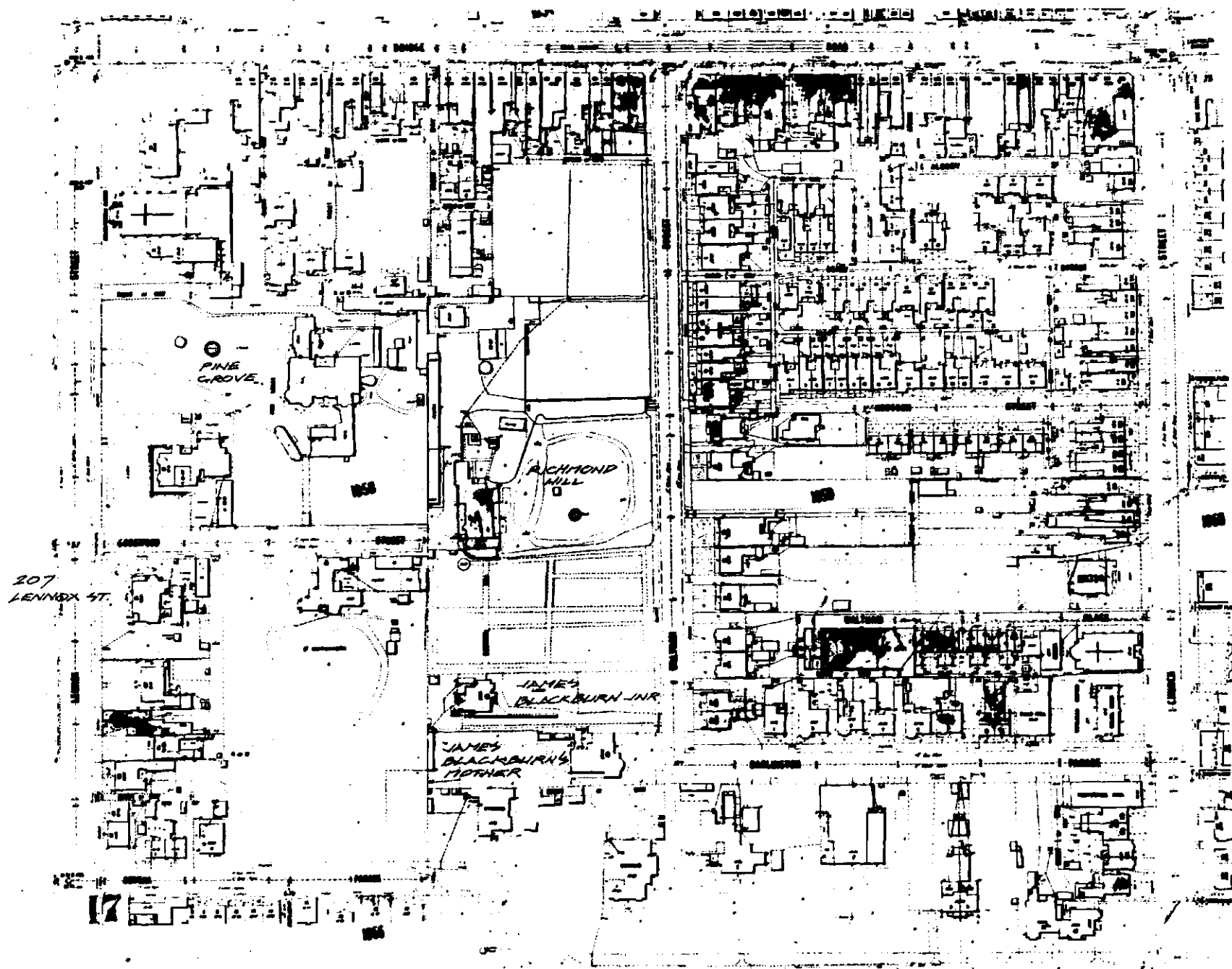


Fig. 6.15 M.M.B.W. map 1898, showing 'Richmond Hill' & 'Pine Grove'

Plan
 OF THE
 REVD JOSEPH DOCKER'S
 PROPERTY
 BEING NOS 21 & 22
 IN THE PARISH OF JIKO-JIKA
 KNOWN AS THE TOWNSHIP
 OF
 CLIFTON WITHIN RICHMOND

Chas Saing,
 Surveyor.

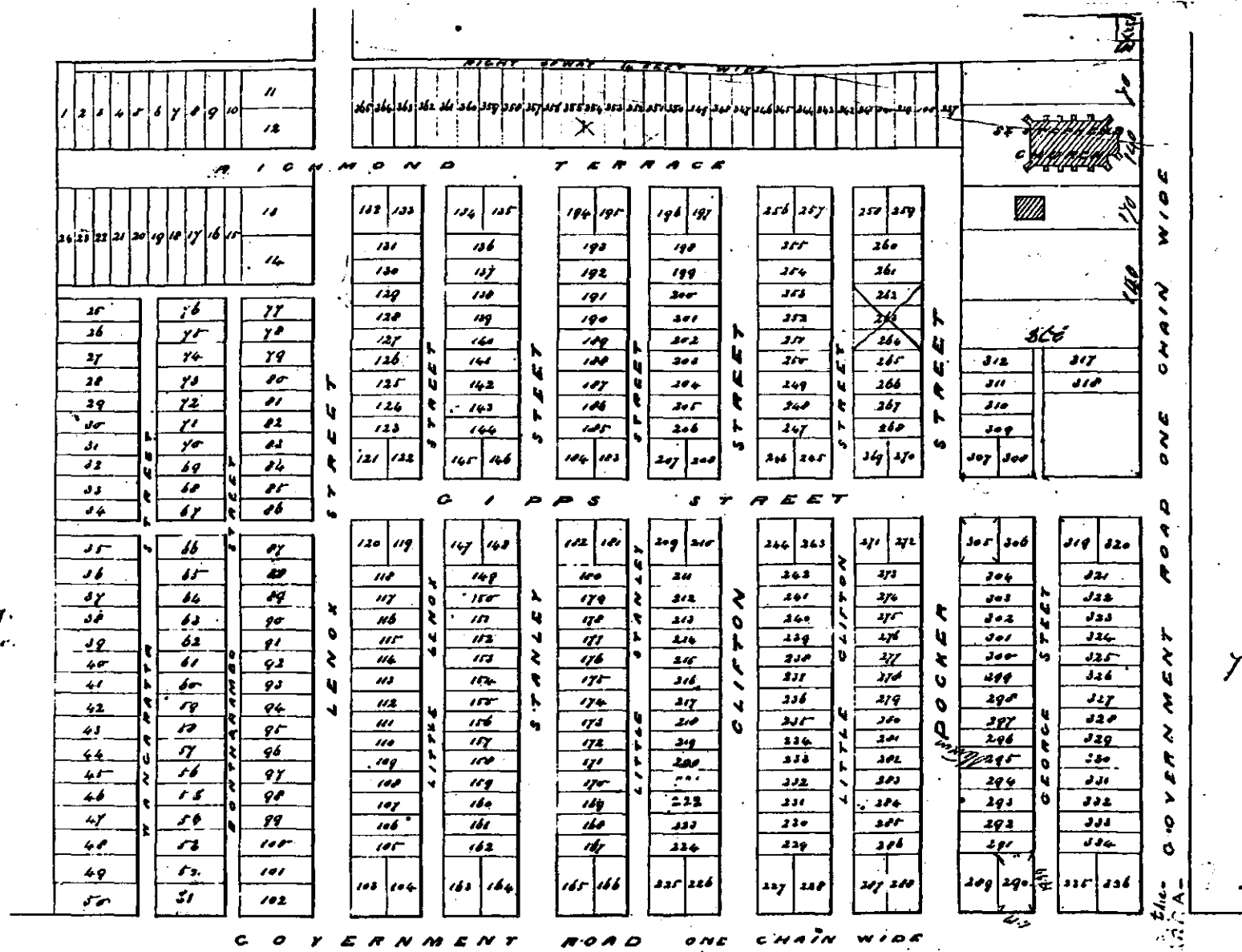


Fig. 6.16 Subdivision of Joseph Docker's Crown allotments, 1853



Fig. 6.17 Joseph Docker's townhouse,
370 Church Street (demolished)



Fig. 6.18 West corner of Clifton and Gipps Street, c. 1880



Fig. 6.19 'Pine Grove', Lennox Street

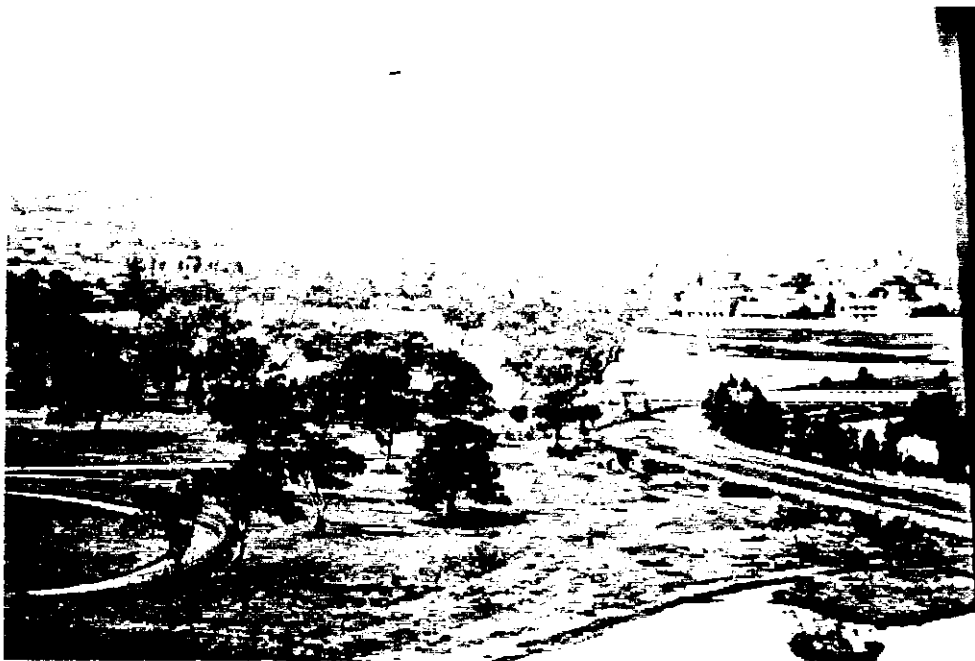
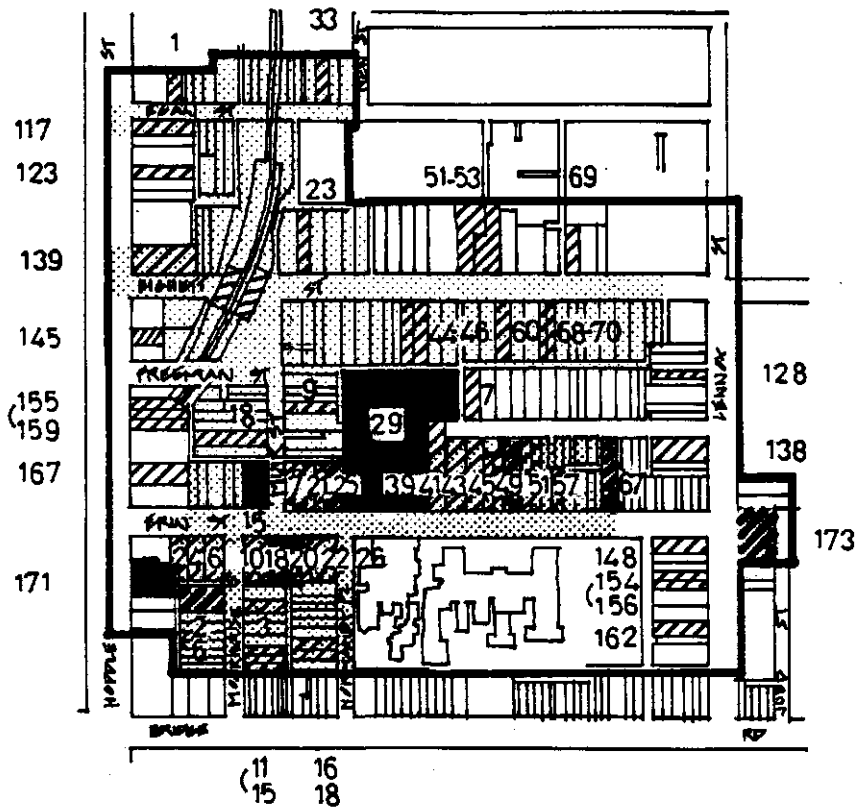

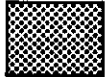
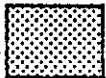





Fig. 6.20 Panorama looking north east across Punt Road with Gipps Street and Lennox Street areas in the middle background, c. 1870

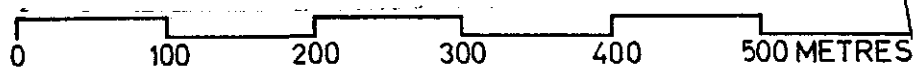
6.2 WEST RICHMOND



KEY

-  CONSERVATION AREA BOUNDARY
-  STREETSCAPE LEVEL 1
-  STREETSCAPE LEVEL 2
-  A BUILDING
-  B BUILDING
-  C BUILDING

MAP



Erin Street, looking west, 1984

6.2.1 History and Description

The area is part of the two allotments purchased from the Crown in 1839 by William Highett and R.W. Wrede (fig. 6.1).

Highett, an early settler from Tasmania, was a squatter, merchant and banker. In the early 1850's he erected the mansion 'Yalcowinna' on the south side of Erin Street where the present Epworth hospital now stands (figs. 6.21, 6.22). The house was progressively demolished as the hospital expanded, the last section, a ballroom disappearing in 1977. William Hull purchased a section of Highett's allotment and built a large stone residence in the early 1850's on the Bridge Road frontage. Next door was George Jame's 'cottage ornee'.¹ Both these buildings have disappeared.

Diagonally opposite 'Yalcowinna' on the north side of Erin Street, a pair of semi-detached houses were built in the 1850's. The pioneer Presbyterian Rev. Dr. Adam Cairns owned one of these and the other was owned from the 1860's by merchant William Muir (fig. 6.23). These two houses were demolished in 1889 and the mansion 'Yooralbyn' built for merchant William Harper. This still stands in its original grounds at 29 Erin Street, although renamed 'Elim' and owned by the Salvation Army (fig. 6.21).

Further subdivisions occurred on the north side of Erin Street in the 1870's (figs. 6.24, 6.25, 6.26, 6.27). The south side of Erin Street was subdivided in the early 1880's (figs. 6.28, 6.29).

In the 1880's the mansion 'Millewa' was built for Robert Hoddle's widow next door to 'Yalcowinna' (fig. 6.30). This was leased by the Salvation Army in 1903 as the Bethesda hospital, then purchased and extended by them in 1912 (fig. 6.31). The house has been gradually engulfed by the present hospital structure. On the south corner of Erin and Hoddle Streets is the unusual 'Urbrae', the combined houses of Dr. Tom Boyd and Dr. William Boyd. The latter was an eminent pathologist (fig. 6.21).

R.W. Wrede sold his allotment to James Hodgson (one of the first members of the Legislative Assembly) a few weeks after he purchased it from the Crown.² By 1855 it had been subdivided into the present street layouts.³ There were 12 houses on the south side of Highett Street at this time, most of them well back in formal gardens (fig. 6.23). The present sitings in this location may derive from this period although the houses appear to be later. The houses at 46 and 44 Highett Street, however, have early sections at the rear.

The house at 137 Punt Road on the north corner of Highett Street was also established by 1855. It is now partly obliterated by additions but the design of its internal joinery indicate it could date from the early 1850's.

No. 145 Hoddle Street is the only remaining house fromn a group of four known as 'Caspar Place' built prior to 1855 for William Highett. Notable occupants were the McCraes in the 1850's and 1860's.⁴

1. White, J.U., op.cit.
2. White, J.U., op.cit.
3. Magee map, 1855.
4. Ratebooks, Magee map, Electrol rolls.

The Collingwood railway cut through the area in 1901 and the West Richmond station was built across Highett Street.

6.2.2 **Statement of Significance**

The Erin Street hilltop area retains intact groupings of some of Richmond's most substantial late 19th century houses, originally the residences of some eminent Victorians, and equivalent to those in neighbouring East Melbourne. 'Yooralbyn' at 29 Erin Street is the only mansion remaining in Richmond which retains its extensive grounds and remnant planting. Further down the hill the houses in Muir Street, Normanby Place, Moorhouse Street and Egan Street form attractive precincts; while the elevated and deeply setback sitings of the cottages on the south side of Highett Street create an unusual sense of place.

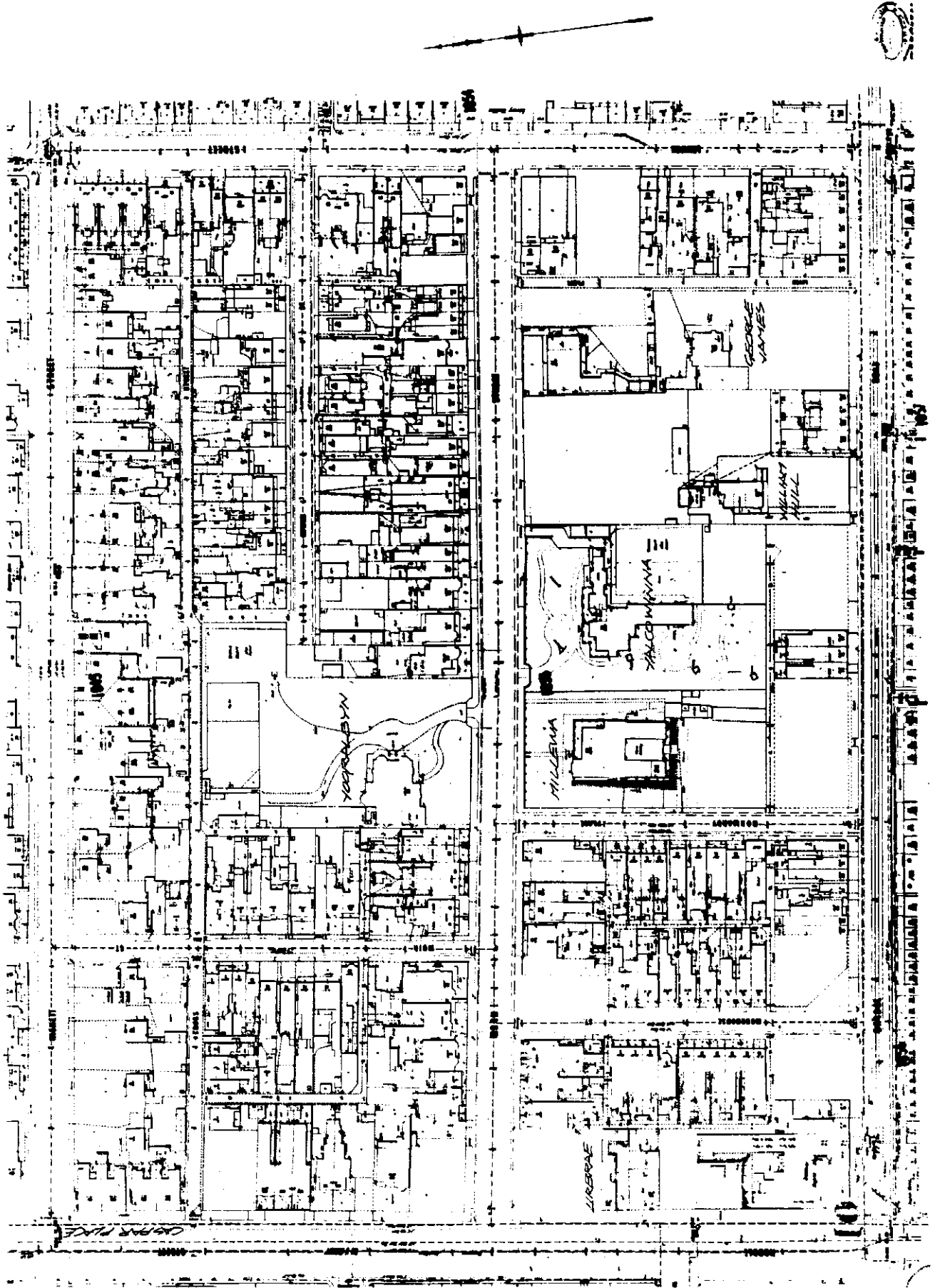


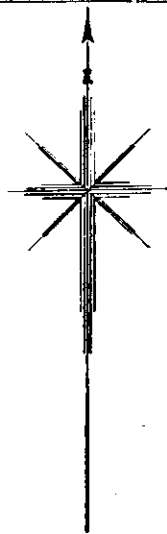
Fig. 6.2 | M.M.B.W. map of Erin Street area 1898



Fig. 6.22 William Highett's 'Yalcowinna' from the south west, c. 1873



Fig. 6.23 Erin Street, 1855



PLAN

SHEWING
THE HON^{ble} WILLIAM HICHETT'S
Richmond Property
SUBDIVIDED INTO LOTS FOR SALE



Surveyed by Thomas Adair 12th March 1872
Contract Surveyor

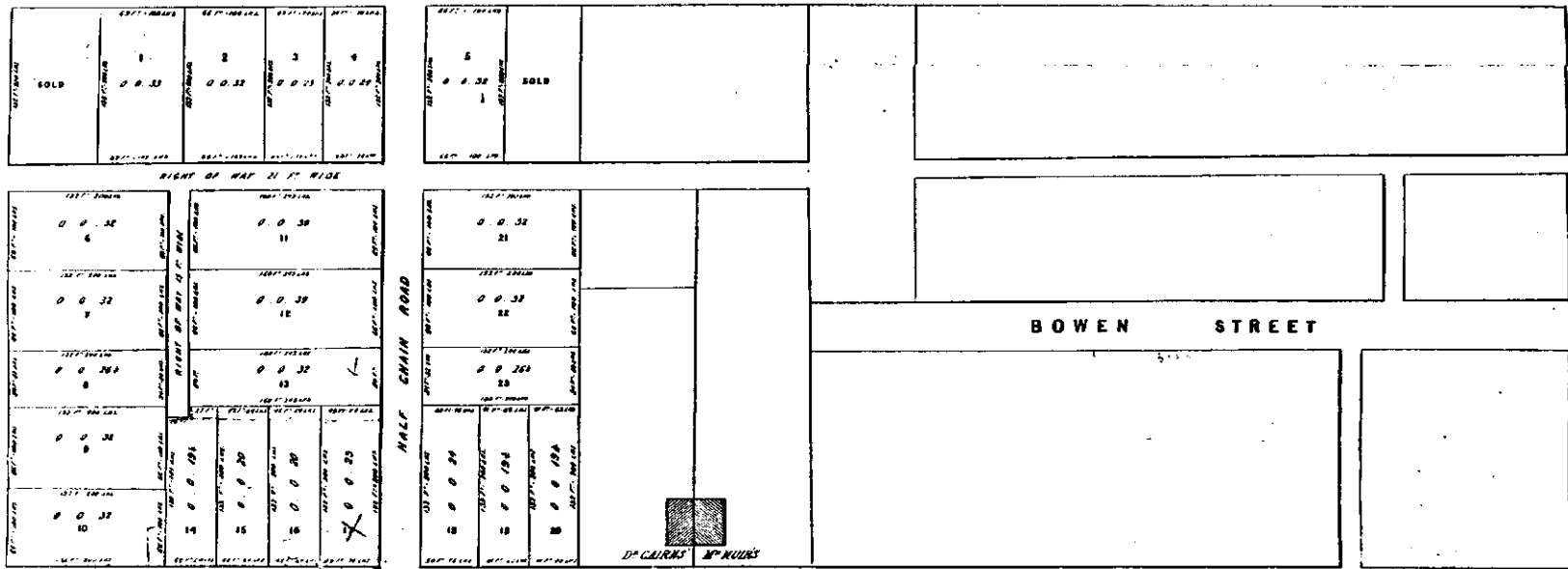
HOTHAM ST

HICHETT STREET

HODDLE STREET

GEORGE ST

LENNOX STREET



ERIN STREET

Fig. 6.24 Erin Street subdivision, c. 1870

*Books
only for
reference
1911*



Fig. 6.25 Erin Street, west end, north side, late 1870's



Fig. 6.26 Erin Street looking from Hoddle Street, 1873

PLAN

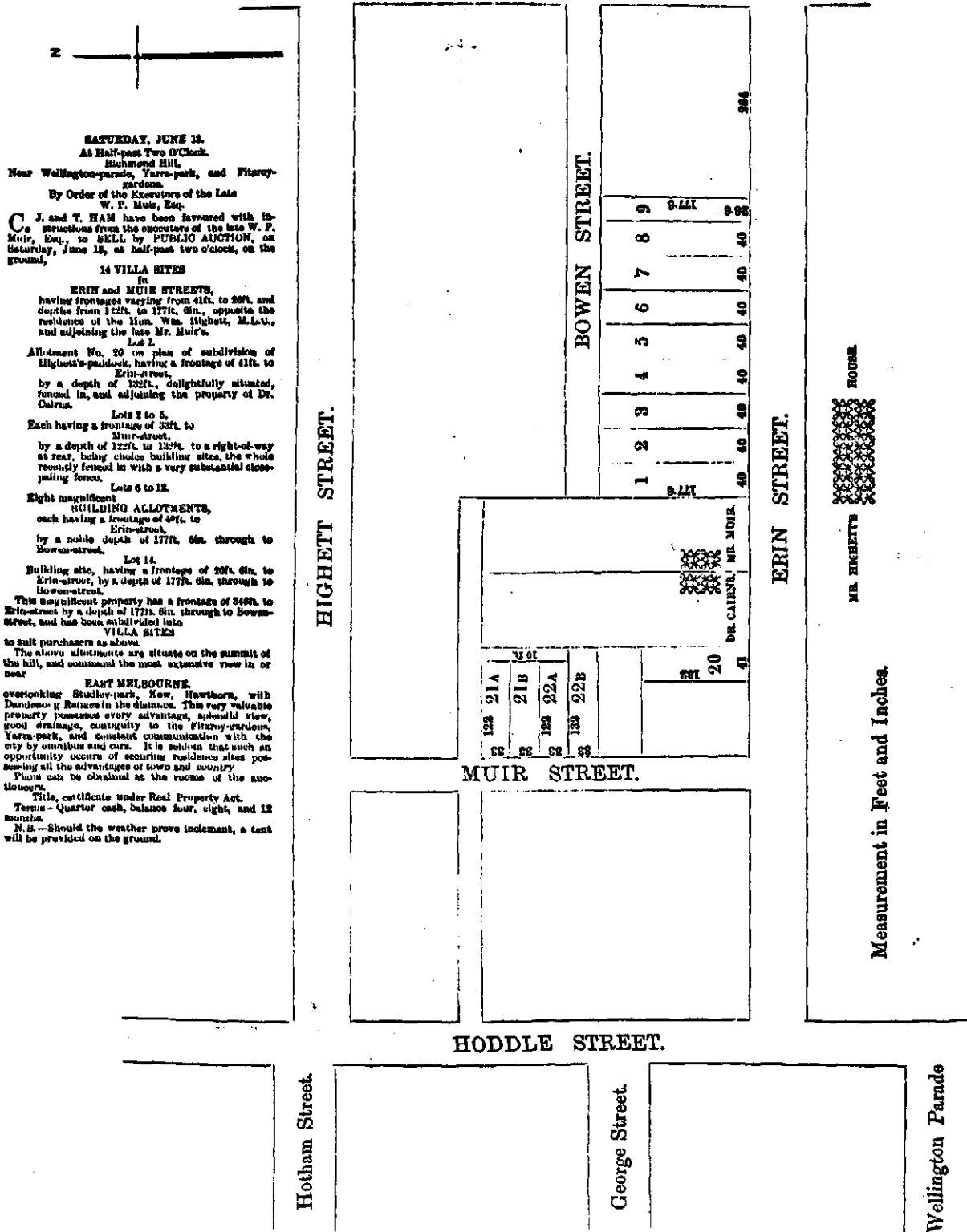
Of Fourteen Villa Sites in Erin and Muir Streets, RICHMOND HILL, NEAR EAST MELBOURNE.

TO BE SOLD BY AUCTION BY

C. J. & T. HAM,

On the Ground, on Saturday, June 13, at Half-past Two o'clock.

LENNOX STREET.



SATURDAY, JUNE 13.
At Half-past Two O'clock.
Richmond Hill,
Near Wellington-parade, Yarra-park, and Fitzroy-gardens.
By Order of the Executors of the Late
W. F. Muir, Esq.

C. J. and T. HAM have been favoured with instructions from the executors of the late W. F. Muir, Esq., to **SELL** by PUBLIC AUCTION, on Saturday, June 13, at half-past two o'clock, on the ground,

14 VILLA SITES

ERIN and MUIR STREETS,
having frontages varying from 41ft. to 207ft. and depths from 122ft. to 177ft. 6in., opposite the residence of the Hon. Wm. Hight, M.L.C., and adjoining the late Mr. Muir's.

Lot 1.
Allotment No. 20 on plan of subdivision of Hight's paddock, having a frontage of 41ft. to Erin-street,
by a depth of 122ft., delightfully situated, fenced in, and adjoining the property of Dr. Cairns.

Lots 2 to 5.
Each having a frontage of 33ft. to Muir-street,
by a depth of 122ft. to 124ft. to a right-of-way at rear, being choice building sites, the whole recently fenced in with a very substantial close-meshing fence.

Lots 6 to 12.
Eight magnificent **BUILDING ALLOTMENTS,** each having a frontage of 47ft. to Erin-street,
by a noble depth of 177ft. 6in. through to Bowen-street.

Lot 14.
Building site, having a frontage of 207ft. 6in. to Erin-street, by a depth of 177ft. 6in. through to Bowen-street.

This magnificent property has a frontage of 246ft. to Erin-street by a depth of 177ft. 6in. through to Bowen-street, and has been subdivided into

VILLA SITES

to suit purchasers as above.

The above allotments are situated on the summit of the hill, and command the most extensive view in or near

EAST MELBOURNE.

overlooking Studley-park, New, Hawthorn, with Danesbury Racecourse in the distance. This very valuable property possesses every advantage, splendid view, good drainage, contiguity to the Fitzroy-gardens, Yarra-park, and constant communication with the city by omnibus and cars. It is seldom that such an opportunity occurs of securing residence sites possessing all the advantages of town and country.

Plans can be obtained at the rooms of the auctioneers.

Title, certificates under Real Property Act.

Terms - Quarter cash, balance four, eight, and 12 months.

N.B. - Should the weather prove inclement, a tent will be provided on the ground.

Fig. 6.27 Erin Street subdivision, 1879

SUBDIVISION OF THE LANDS IN LOT 13, OF 3 ORIGINAL, 1

IMPORTANT SALE of VALUABLE DUCHES

Having Frontages to BRIDGE ROAD, HODDLE & ERIN STS, NORMANBY PLA

M. & T. HAM have received instructions to SELL by PUBLIC AUCTION, on Saturday, November 19, at three o'clock, on the ground, that valuable and beautifully-situated property, known as

HIGHETT'S PADDOCK,

Subdivided as under:-

BRIDGE ROAD - BUSINESS SITES,

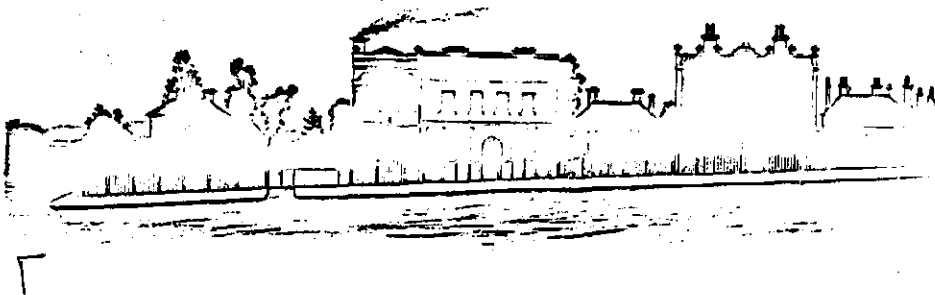
Each having frontages varying from 17 ft. to 50 ft., by a depth of from 91 to 101 ft. to a right-of-way 10 ft. wide, including FOUR GRAND BUSINESS CORNERS.

HODDLE STREET,

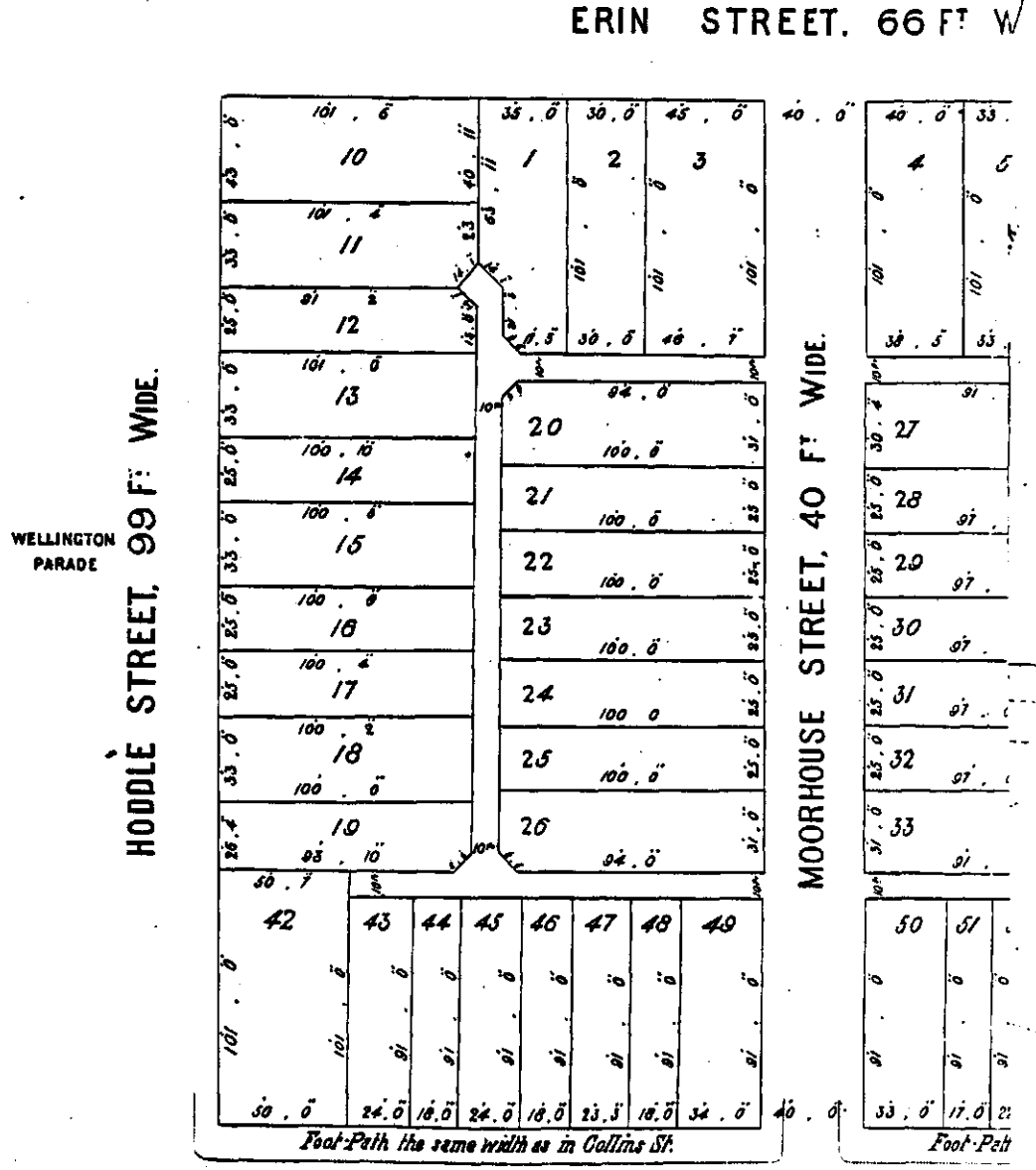
Overlooking Yarra Park and Plantation Reserve, as UNDEVELOPED BUILDING SITES,

each having frontages varying from 25 feet to 43 feet, by a depth of 101 feet to a right-of-way 10 feet wide.

These beautiful sites are quite exceptional, being in every way equal in value with frontages to Fitzroy Gardens, no such sites being now procurable in EAST MELBOURNE.



ERIN STREET. 66 FT W



This property possesses exceptional advantages, being in the immediate vicinity of

FITZROY GARDENS

and the Yarra Park. For many years this valuable block has been regarded as possessing the most desirable sites for first-class residences in or near Melbourne, and the wish expressed that it might be divided.

Auctioneers can with the greatest confidence offer this estate under the notice of capitalists, shopkeepers, and gentlemen desirous of

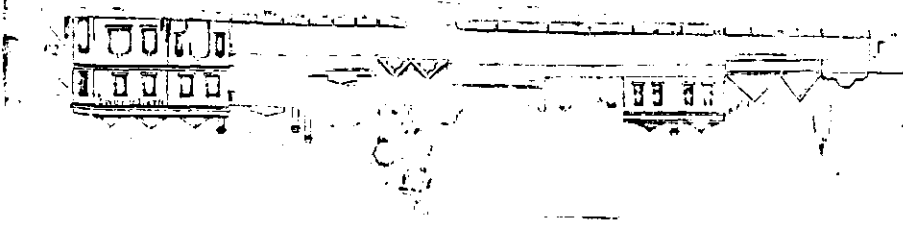


Fig. 6.28 Erin Street subdivision, 1881

ASSOCIATED with the name "Bethesda," to the Christian mind at least, are five porches, a pool, sick and impotent folk, and a Saviour. Fitting indeed it is that nineteen centuries later the Salvation Army Hospital—place of healing"—should be so styled as to evoke the remembrance of that notable miracle recorded in John's Gospel. We doubt not that the

hospital and district nursing—than has Mrs. McKie. Her training as a nurse prior to entering the ranks of the Army would naturally cause her to be more

SIR REG
 appreciative of the abilities for service that she had with hospital life

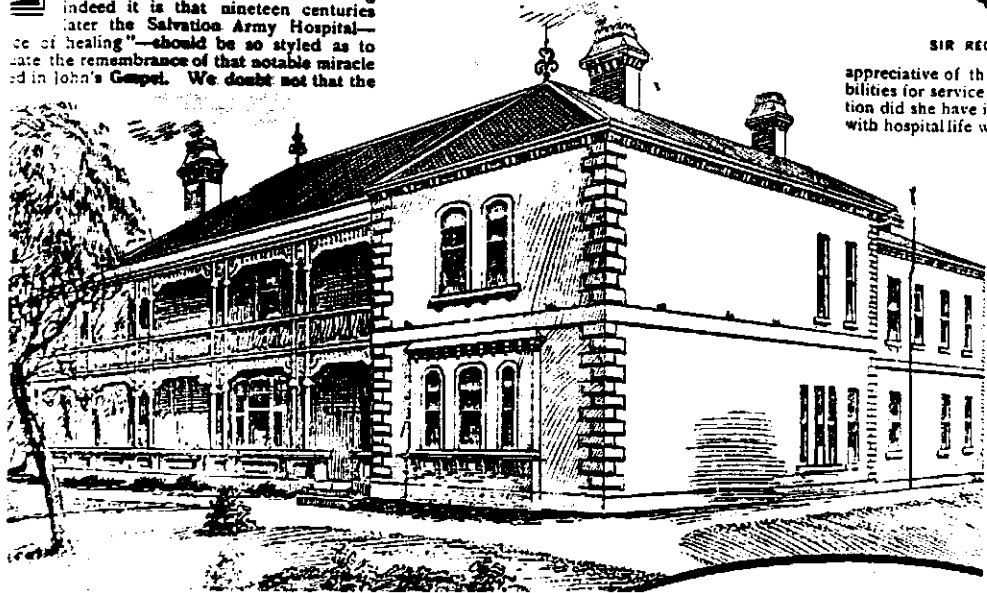
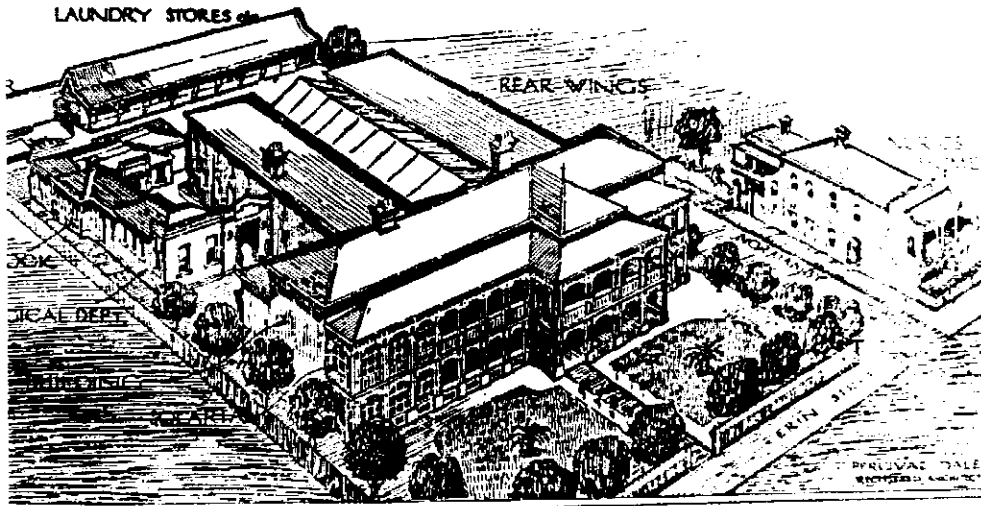


Fig. 6.30 Mrs Robert Hoddle's residence when leased as the Bethesda Hospital, Erin Street, 1903

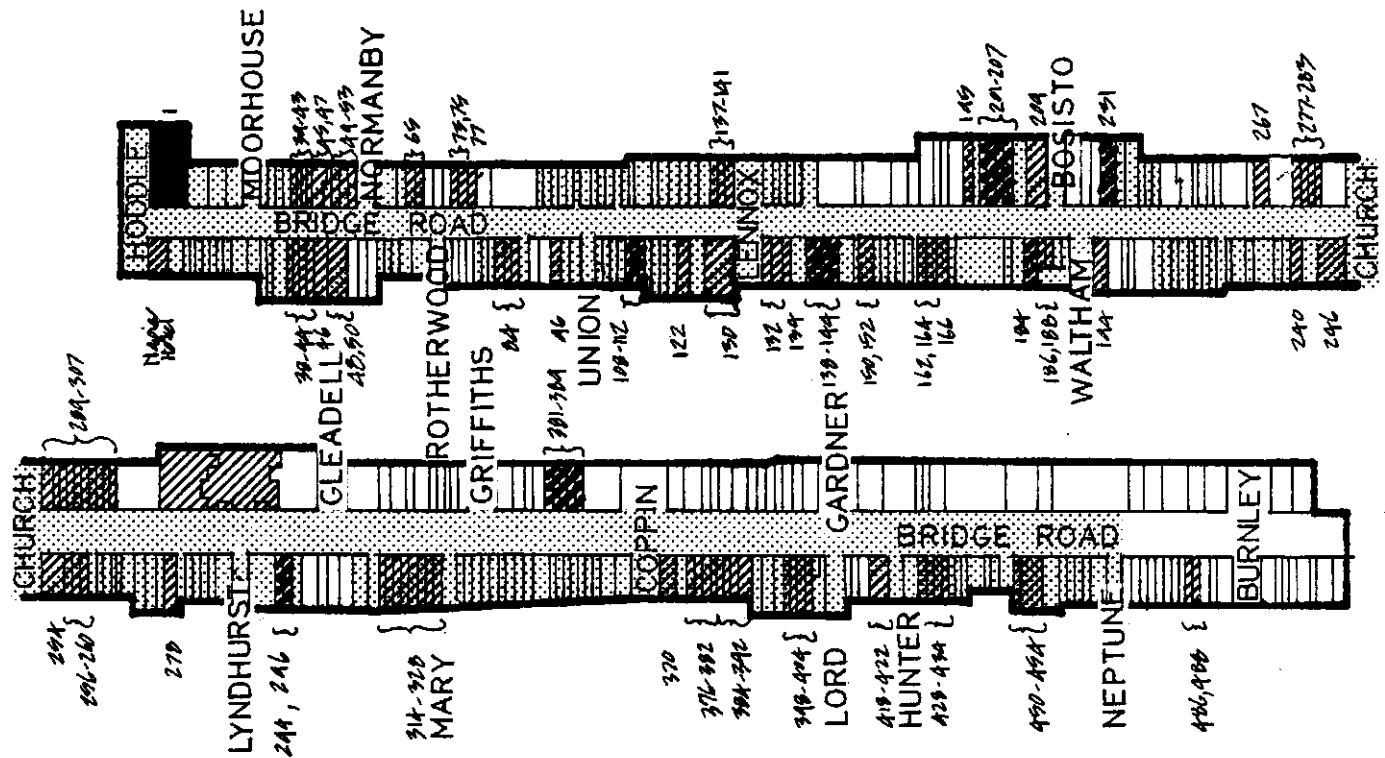
...and the superior sense of achievement, while the world-loved uniform of the Salvation Army... Founder's oft-repeated declaration that it was only after passing the blood test and the fire test that men and women could become Salvationists. In a medical... and Dr. Douglas Thomas... and skill it would be... Laboratory to be... Institute...



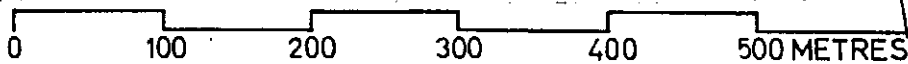
WINDMILL VIEW OF THE HOSPITAL BUILDINGS, SHOWING, TO THE LEFT, THE NEWLY OPENED PATHOLOGICAL AND BACTERIOLOGICAL LABORATORIES

Fig. 6.31 Bethesda Hospital, Erin Street, 1912

6.3 BRIDGE ROAD



MAP



KEY

- CONSERVATION AREA BOUNDARY
- STREETScape LEVEL 1
- STREETScape LEVEL 2
- A BUILDING
- B BUILDING
- C BUILDING



Bridge Road looking east, 1984.

6.3.1 History and Description

Bridge Road was created a road reserve in Robert Hoddle's Crown allotment survey of 1837. It was originally known as Richmond Road and Richmond Bridge Road. The first bridge connection with Hawthorn was in 1855. The eastern end of the road when widened in the 1870's was known as Campbell Parade.

By 1855 there were quite a number of buildings, most probably shops, on small allotments along the south side of the road between Punt Road and Church Street (fig. 6.32). The 1856-7 electoral roll indicates an established retail and service trade in Bridge Road - butchers, drapers, shoemaker, fruiterers, tailors, hairdressers, grocers and hoteliers. Hotels which were operating by 1858 and those which still survive, although substantially altered, are the Napier, Star & Garter (now the Australia), Vine, and Spread Eagle (fig. 6.33). Commercial House, now Alexanders, on the corner of Bridge Road and Church Street opened in 1854¹ as a provision store (fig. 6.34), while on the opposite (north side) corner Egan's steam sawmill was operating by 1859.²

The north side of the road had little development at this time, the villa gardens of Joseph Bosisto and William Highett being the most prominent features. The 'Richmond Australian' newspaper was established opposite the court house reserve in 1858 and moved to 241 Bridge Road in the 1860's (fig. 6.35).

The town hall, incorporating a court house and post office was constructed on the court house reserve in 1870 (fig. 6.36). Separate post office and police station buildings were added in 1871 (fig. 6.37). The town hall was remodelled in 1936 in an Egyptian monumentalist style.

By the 1870's Bridge Road still had a village-like scale with the west end being more densely developed than the east end (figs. 6.38, 6.39, 6.40, 6.41). The north side between Normanby Place and Hoddle Street was not subdivided from Highett's property until 1880 (fig. 6.27, 6.28).

The majority of the existing buildings in Bridge Road date from the 1880's and 1870's (figs. 6.42, 6.43, 6.44). Cable trams first ran in Bridge Road in 1885, replacing the horse drawn omnibuses. Electric trams took over in 1916. Figs. 6.45, 6.46, 6.47 show Bridge Road between 1910 and 1920.

6.3.2 Statement of Significance

A 19th century commercial streetscape which is remarkably intact above verandah level, and which has an interesting mixture of substantial shops, hotels, banks and the town hall.

1. Argus, 9th February, 1854.
2. Victorian Contractors and Builders' Price Book, 1859.



Fig. 6.32 Bridge Road - Church Street intersection, 1855

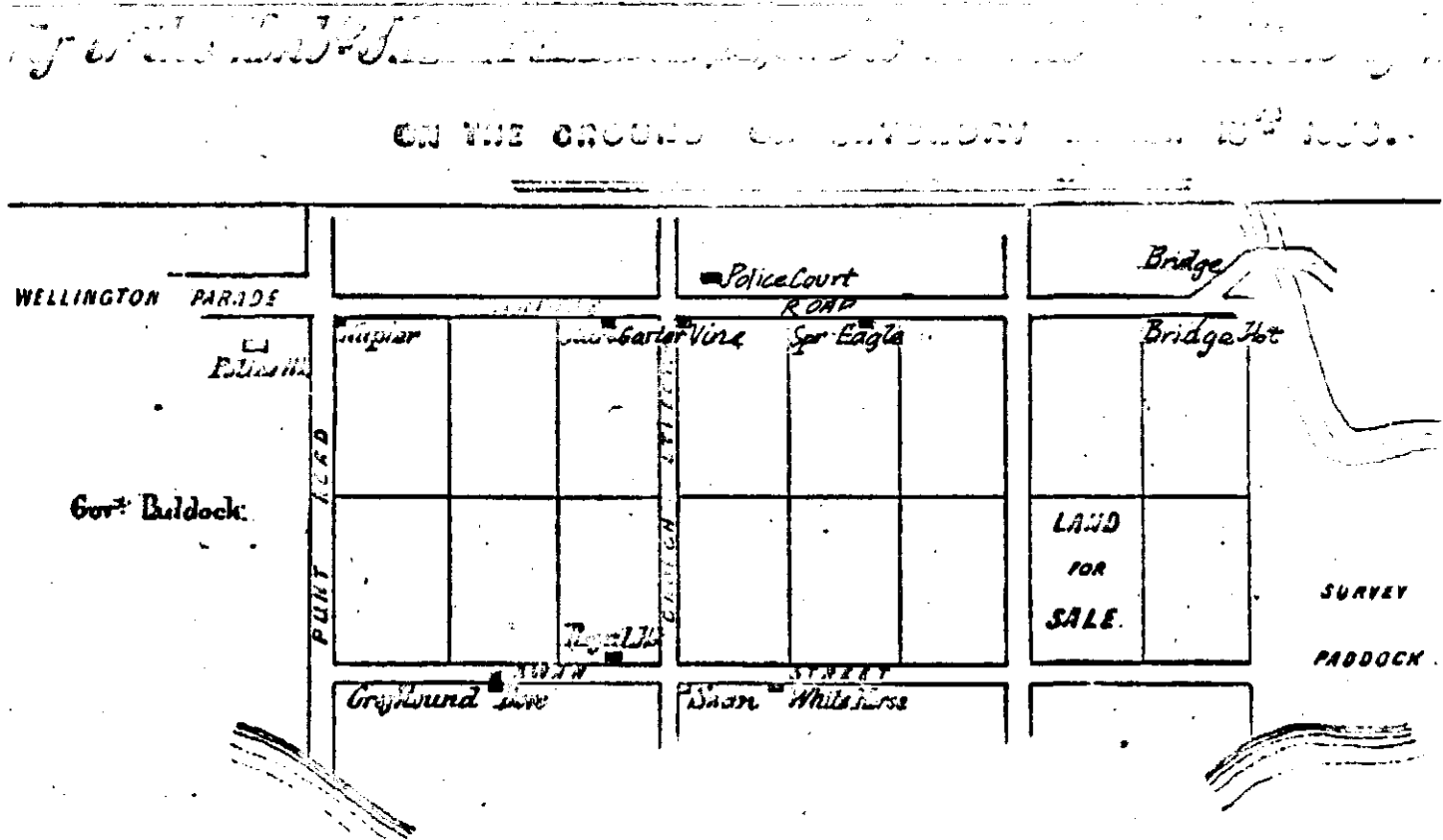


Fig. 6.33 Bridge Road hotels, 1858



Fig. 6.34 Commercial House (now Alexanders Stores), Bridge Road, c. 1860

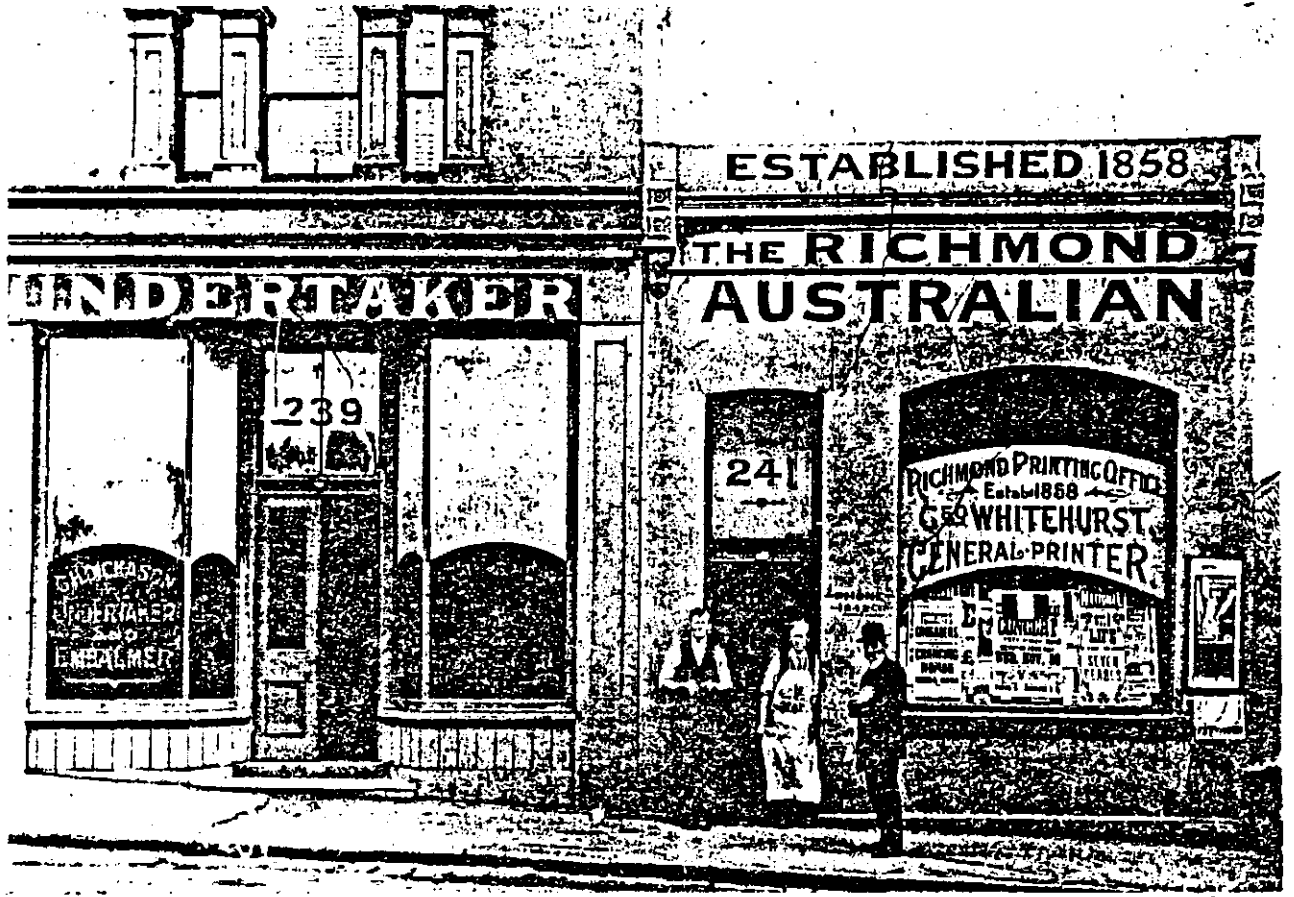


Fig. 6.35 Richmond Australian office, Bridge Road, 1860's

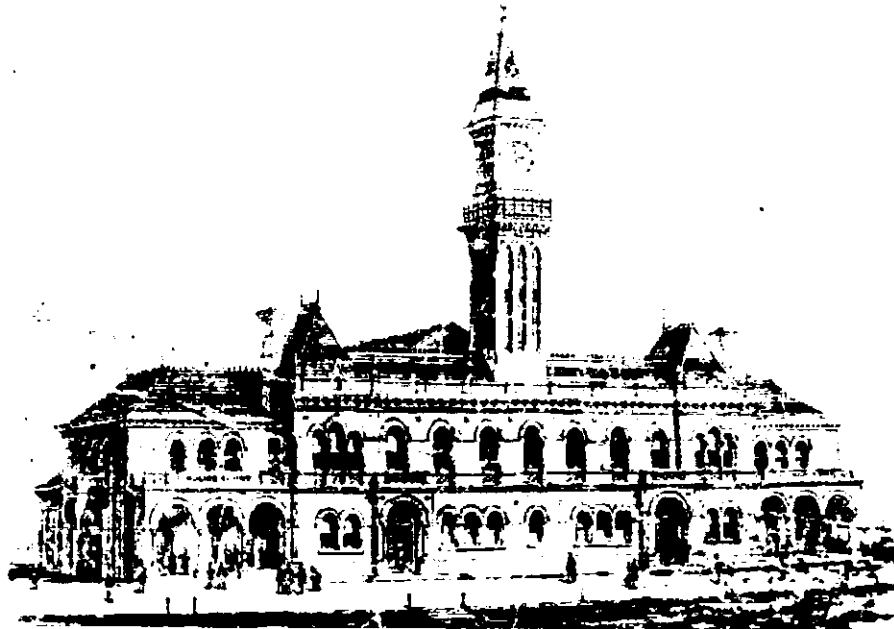


Fig. 6.36 Perspective of proposed Town Hall by architect Charles Vickers, 1865.

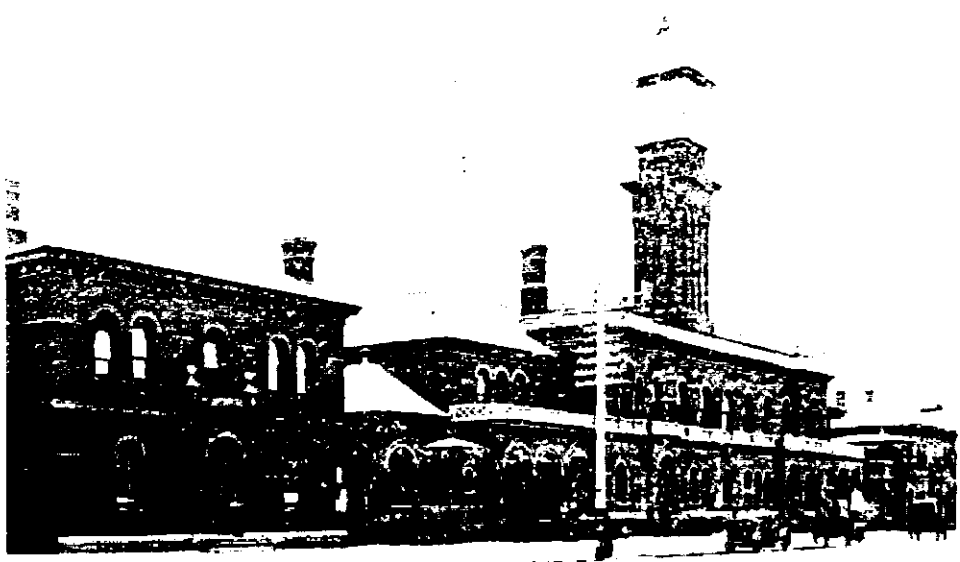


Fig. 6.37 Town Hall, Police Station and Post Office, c. 1920



Fig. 6.38 Bridge Road looking east from the Town Hall tower, c. 1870



Fig. 6.39 Bridge Road at Punt Road end, 1870's



Fig. 6.40 Bridge Road at Punt Road corner, south side, 1870's

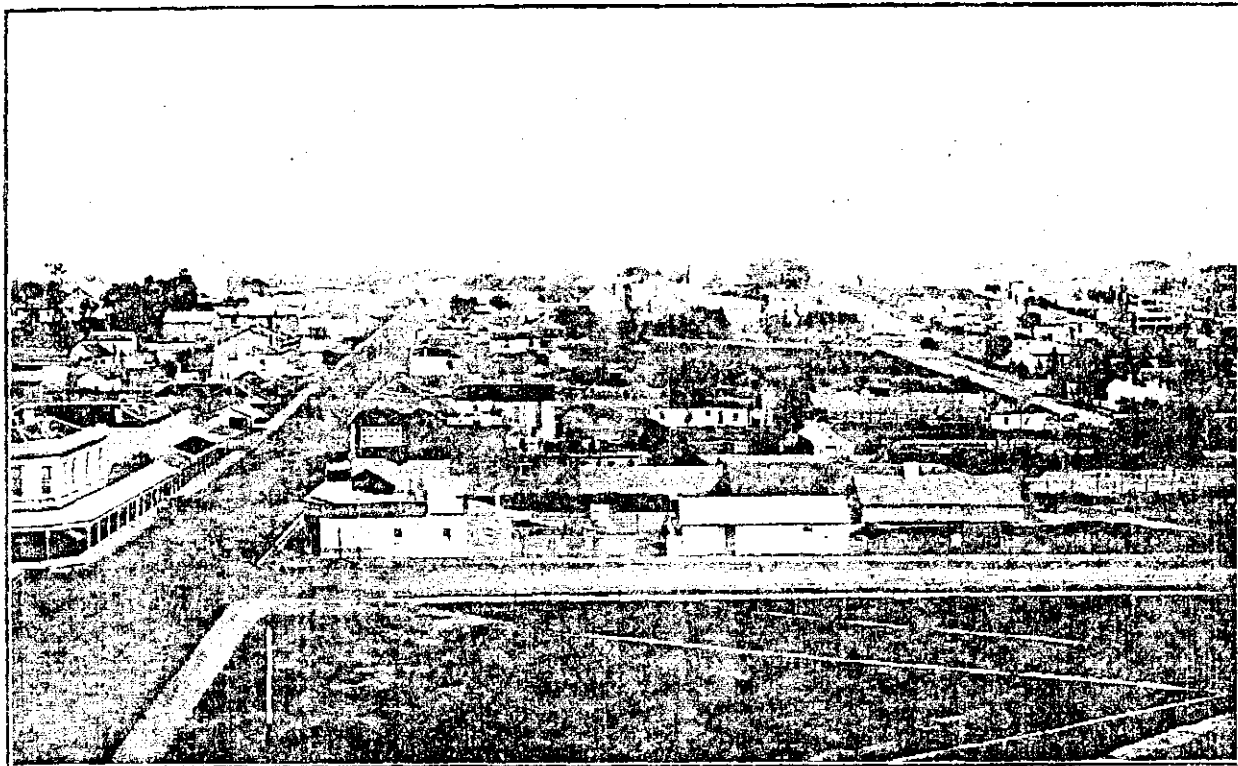


Fig. 6.41 Bridge Road looking west from Town Hall tower, 1870's



Fig. 6.42 Bridge Road looking east from Punt Road, 1890's



Fig. 6.43 Bridge Road, south west corner, 1890's

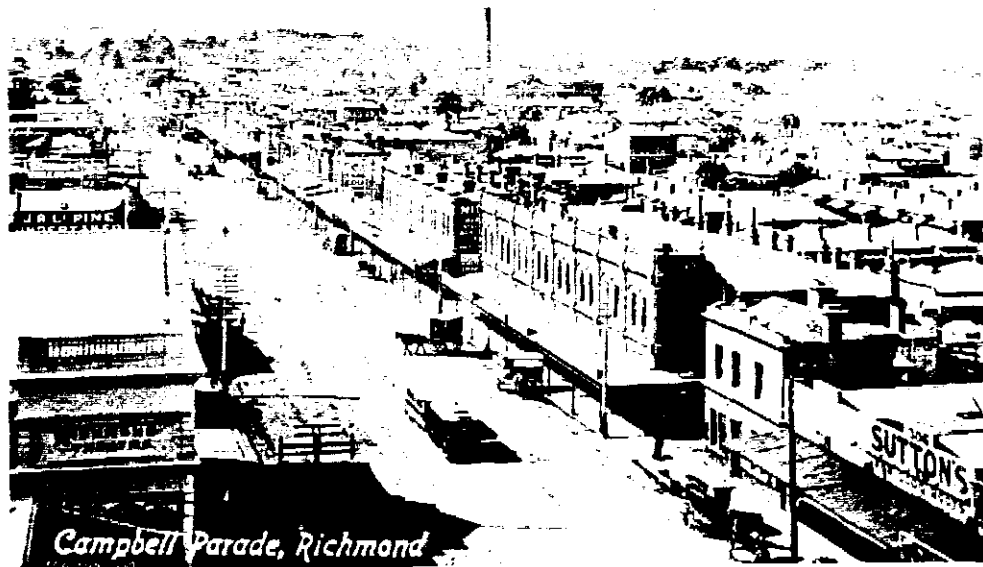


Fig. 6.44 Bridge Road looking east from Town Hall tower, 1890's



Bridge Road Richmond Taken from Town Hall

Fig. 6.45 Bridge Road, opposite the Town Hall, c. 1910

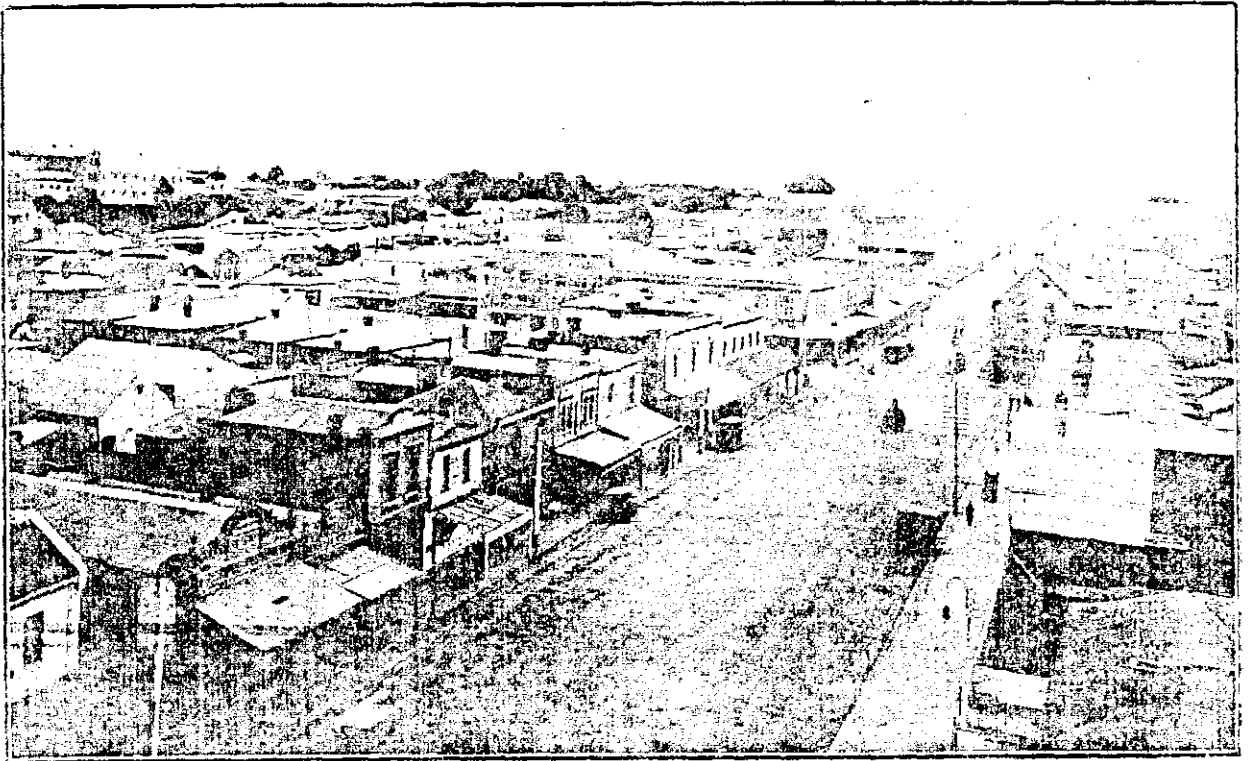


Fig. 6.46 Bridge Road looking west from Town Hall tower, 1913

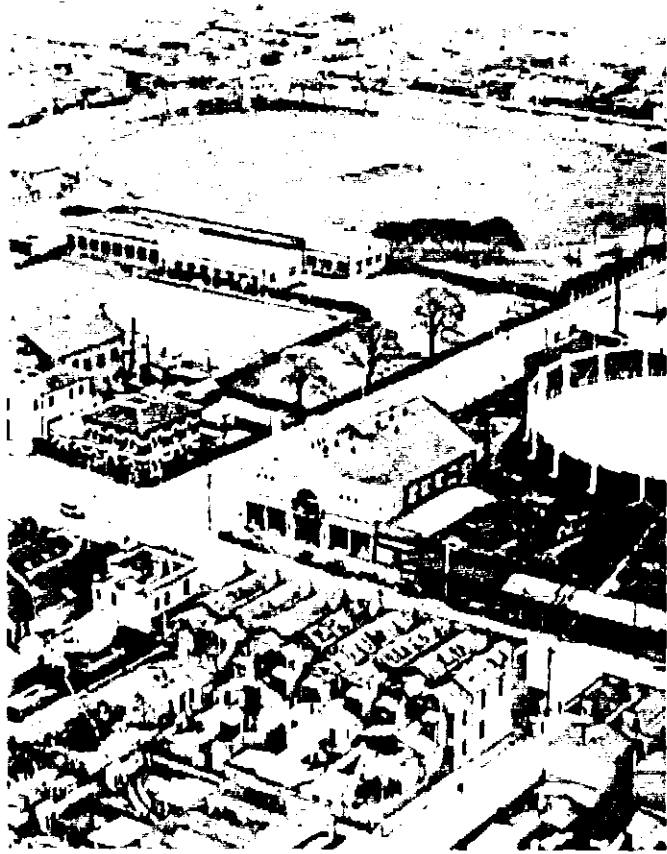
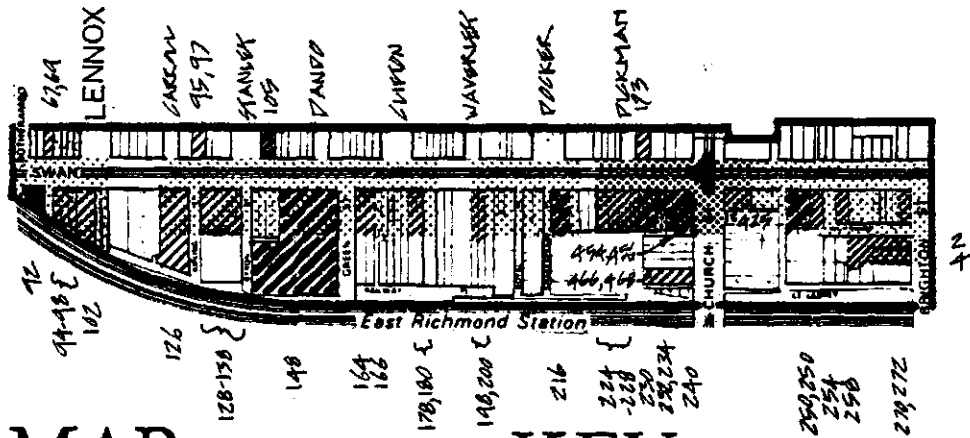


Fig. 6.47 Aerial view of Bridge Road at Gleadell Street intersection looking north west, 1930's


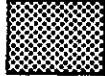




6.4

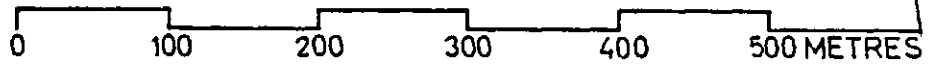
SWAN STREET



MAP

KEY

-  CONSERVATION AREA BOUNDARY
-  STREETScape LEVEL 1
-  STREETScape LEVEL 2
-  A BUILDING
-  B BUILDING
-  C BUILDING



Swan Street looking west, 1984

6.4.1 History and Description

Swan Street was designated as a road reserve in the Crown allotment survey of 1837. It was allegedly named after the Swan Inn built in 1850 on the south east corner of Church Street but now altered.

Swan Street originally finished at the Survey Paddock, but was extended to the Yarra River sometime between 1874 and 1888 (figs. 6.9, 6.10).

The north side was subdivided from the allotments of Joseph Docker and Charles Williams by 1853 (fig. 6.2). In 1855 there was a concentration of buildings around the intersection with Church Street (fig. 6.48). Traders in Swan Street by 1857 included butchers, drapers, fruiterers, tailors, shoemakers, hairdressers and hoteliers. Hotels existing in 1858 were the Swan Inn, Whitehorse, Dover and Royal (fig. 6.33).¹

The railway was extended across Swan Street in 1860 to the Pic-nic and Cremorne stations (figs. 6.49, 6.50, 6.51). The level crossing was replaced by an overhead bridge in 1887.²

By 1889 Swan Street appears to have been fully developed (fig. 6.52, 6.53, 6.54). It was sealed in 1901.

Further major buildings were added in the early 1900's, most notably: Dimmeys, the post office, Maples, State Bank (figs. 6.55, 6.56, 6.57). Electric trams were running by 1916 (figs. 6.58, 6.59).

6.4.2 Statement of Significance

A fine commercial precinct of nineteenth century buildings which are intact above verandah level and which developed parallel with Bridge Road as Richmond's commercial centre. It contains many individually significant buildings.

1. Electoral Roll, 1856-7.
2. White, op.cit.



Fig. 6.48 Swan Street - Church Street intersection, 1855

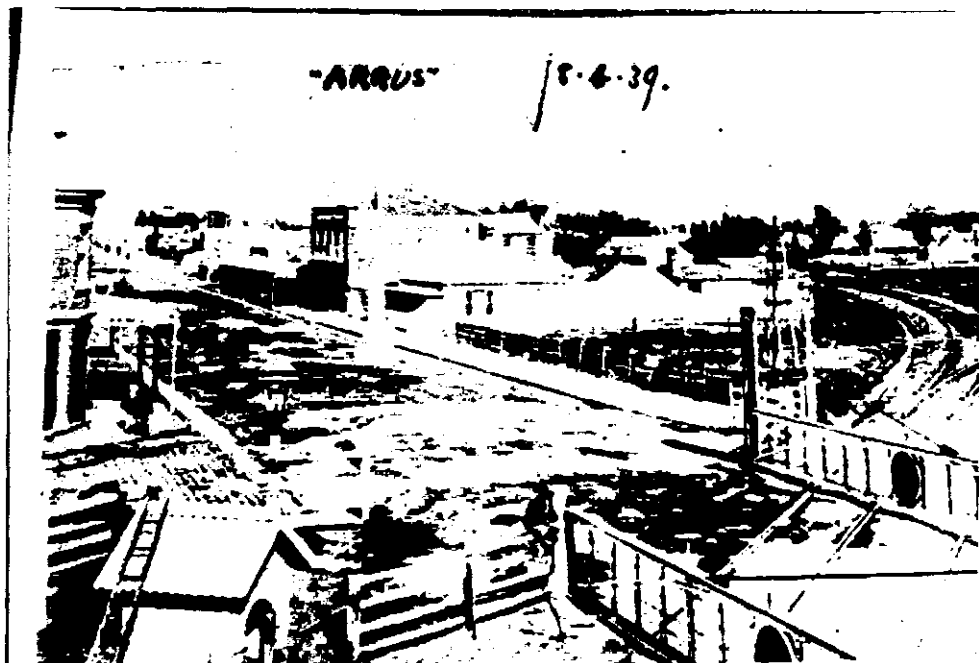
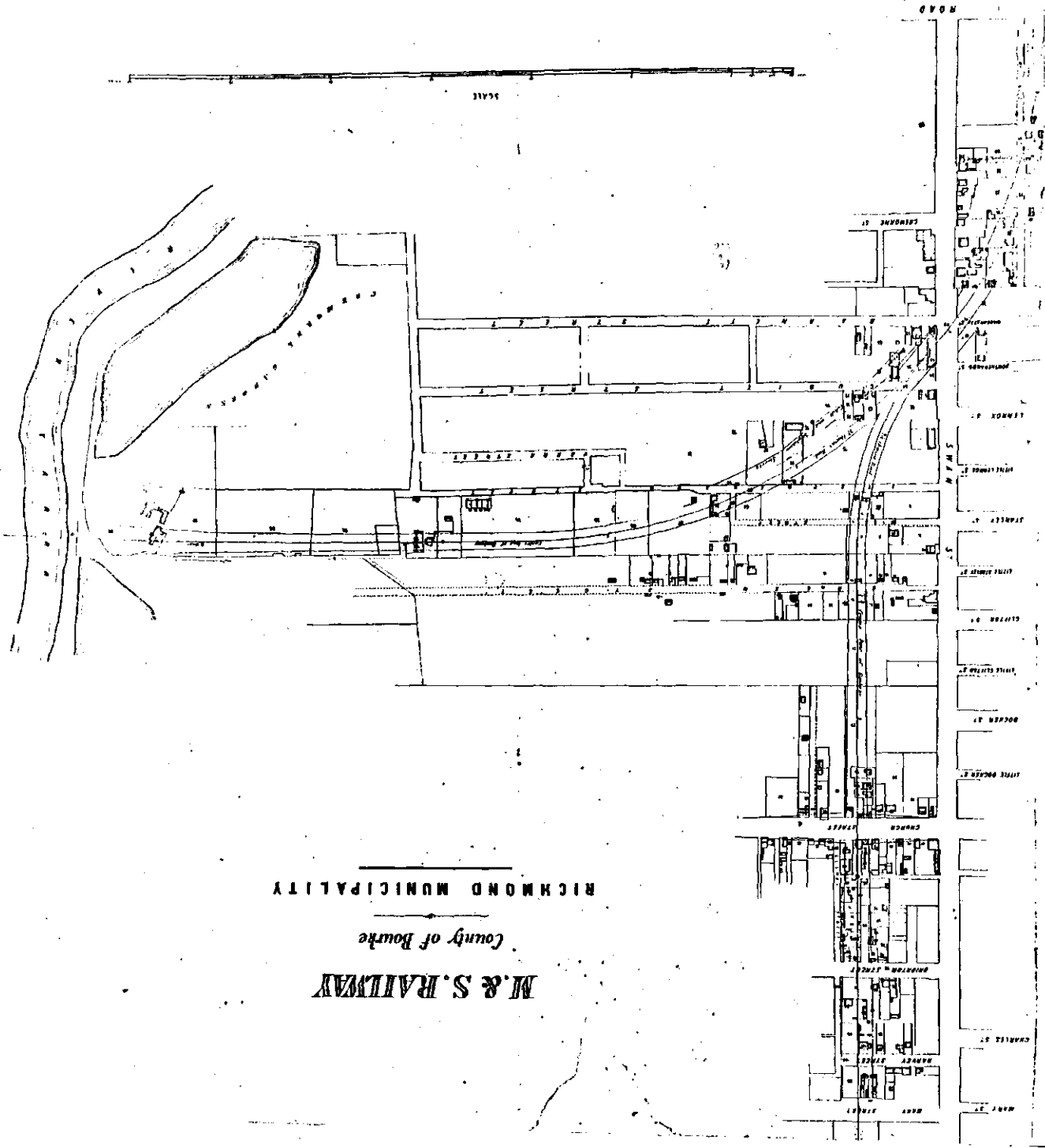


Fig. 6.49 Swan Street railway crossing looking south east, c. 1870



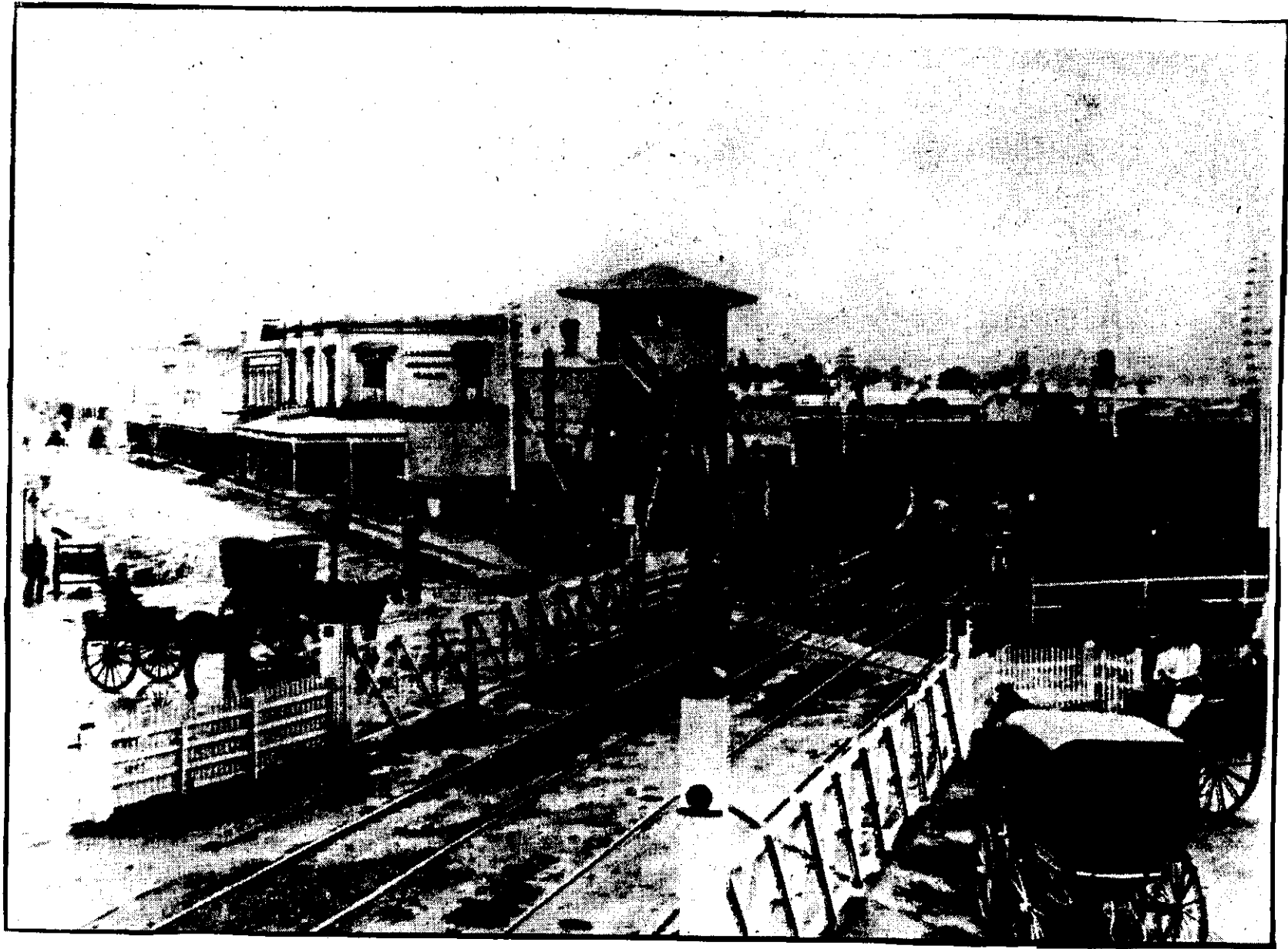


Fig. 6.51 Swan Street railway crossing looking south east, c. 1880



Fig. 6.52 Swan Street looking west from Church Street, 1880's



Fig. 6.53 Swan Street looking west from Dimelow and Gaylard, 1880's

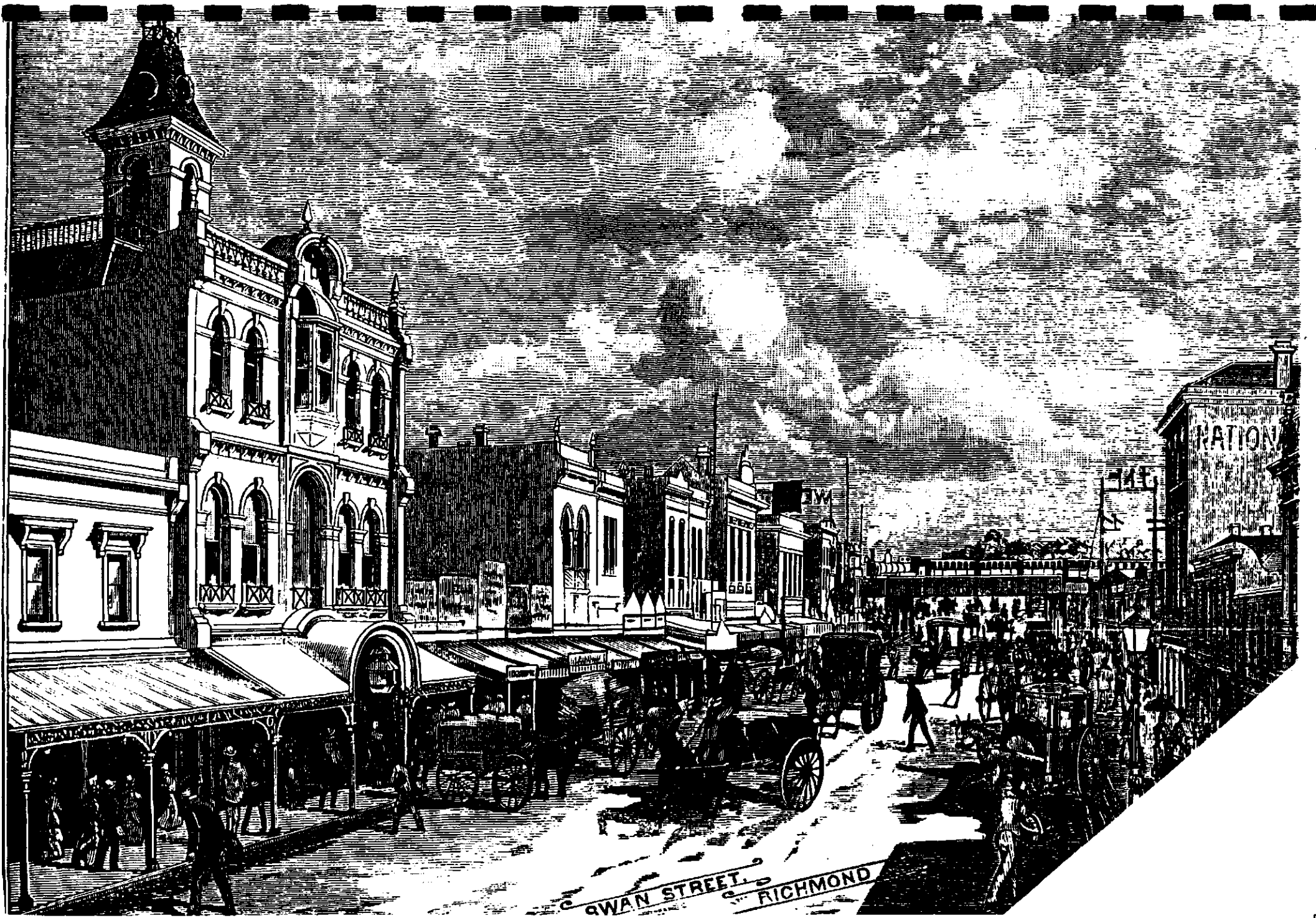


Fig. 6.54 Swan Street looking west from Dando Street, 1889

Greetings from Richmond, Swan Str.

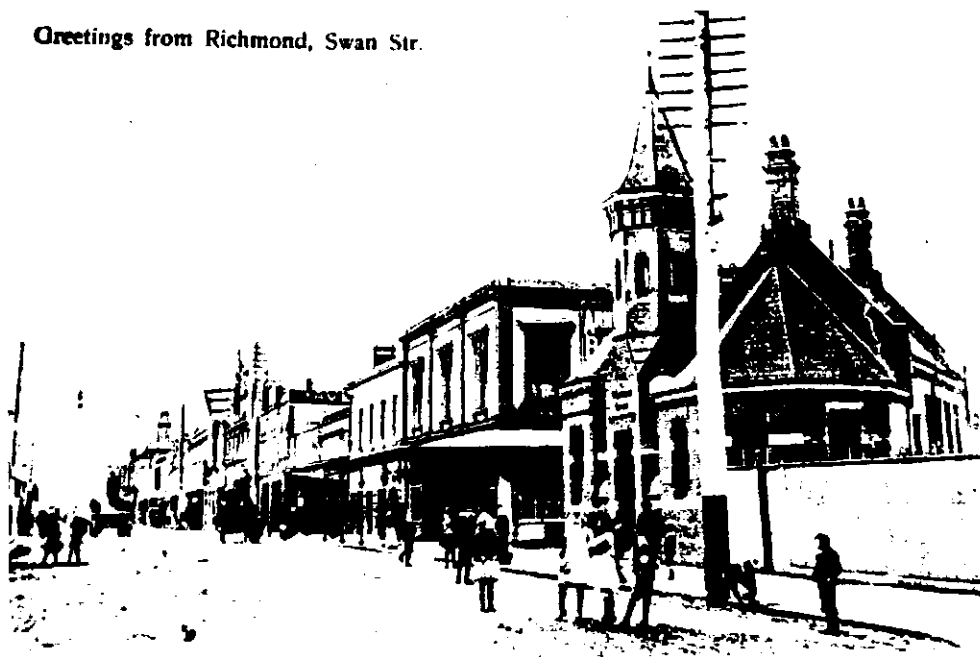


Fig. 6.55 Swan Street looking east from the post office, c. 1906



Fig. 6.56 Swan Street looking west from Church Street, c. 1910



Fig. 6.57 Swan Street looking east, c. 1910

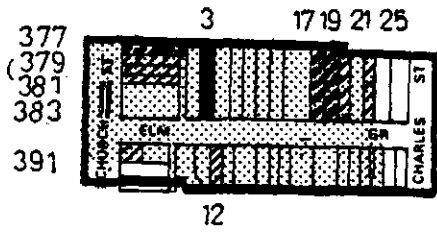


Fig. 6.58 Swan Street looking east, 1920's



Fig. 6.59 Swan Street looking east, 1940's

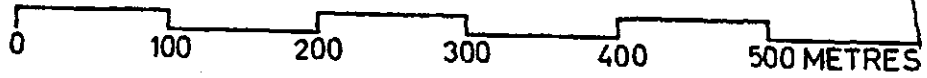
6.5 ELM GROVE



MAP

KEY

- CONSERVATION AREA BOUNDARY
- STREETScape LEVEL 1
- STREETScape LEVEL 2
- A BUILDING
- B BUILDING
- C BUILDING



Elm Grove looking east, 1984.

6.5.1 History and Description

Elm Grove was created by a subdivision of Charles William's (auctioneer) Crown allotment no. 20 in 1852 (fig. 6.2).¹

Originally known as Catherine Street, it contained by 1855 about 20 houses (fig. 6.60).

A late 19th century photograph of the street shows a semi-mature avenue of elm trees, stone street channels and extensive timber picket fencing. Note the picket tree guards (fig. 6.61). The elms which were planted at the instigation of Richard Fitzgerald who lived at 3 Elm Grove are alleged to have been the first avenue planted in a suburban street. They have since been replaced by plane trees.

Elm Grove still presents an attractive tree-lined streetscape with some interesting 19th century houses, in particular no's. 3, 12, 17, 19, 21 and 25.

Richmond architect James Miller Robertson lived at no. 19 which dates from 1863. During the 1880's it was leased by the distinguished architect William Salway. Robertson was also associated with the intriguing house at 12 Union Street.²

Builder James Bonham's residence was at no. 17 which he built in 1872, while the early Victorian timber cottage at no. 21 was probably prefabricated and constructed for William Green in the 1850's.³

No. 3 is a fine Victorian gothic style house built by Richmond builder and timber merchant Richard Fitzgerald c. 1868.⁴ Allegedly it was designed by the celebrated architect William Wardell. Fitzgerald built the first Roman Catholic Church in Richmond in Bridge Road in 1854 and his timber yard was where Dimmey's Stores now stand.⁵

6.5.2 Statement of Significance

A colourful collection of 19th century houses, some of which are of high architectural interest, unified by the most dominant avenue of street trees in Richmond.

1. White, op.cit.
2. National Trust F.N. 5363.
3. National Trust F.N. 4263.
4. National Trust F.N. 2398.
5. White, op.cit.

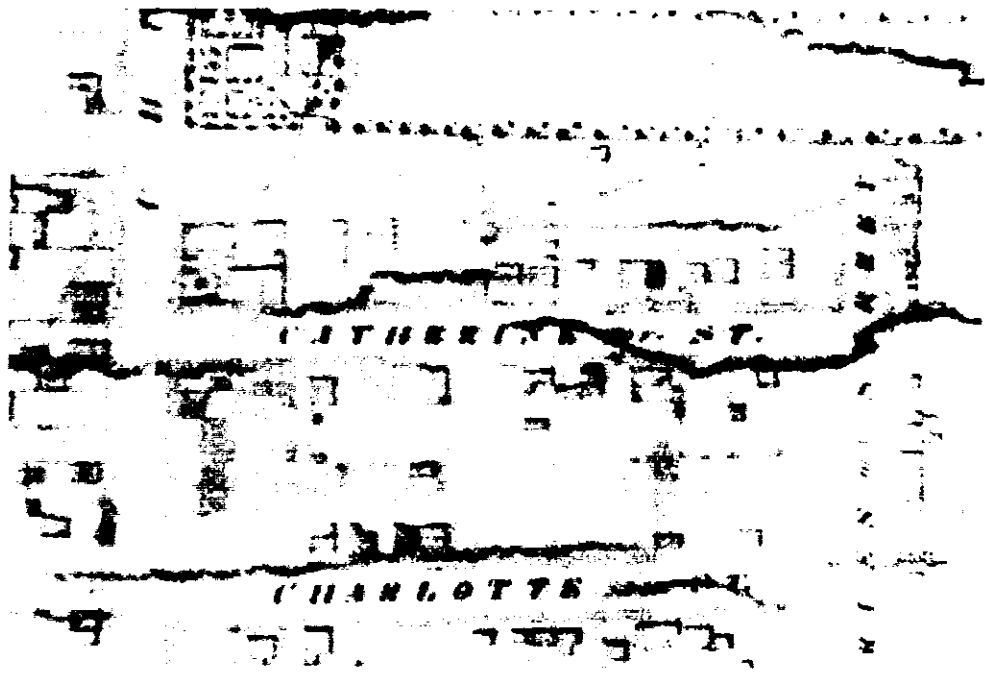
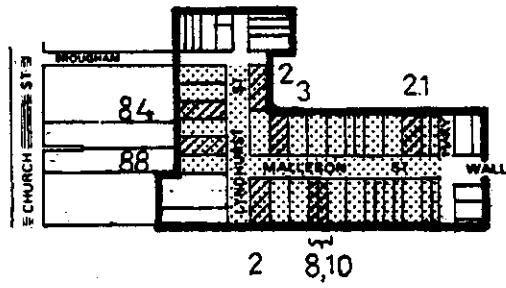


Fig. 6.60 Elm Grove (Catherine Street), 1855

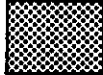
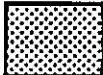





Fig. 6.61 Elm Grove looking east, 1880's

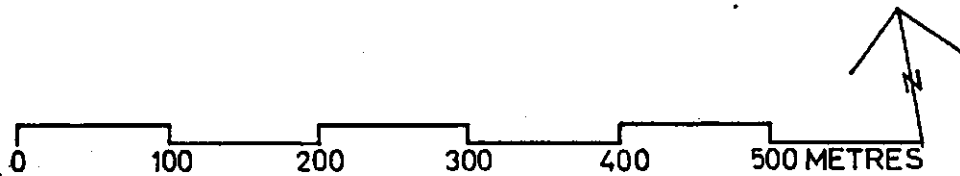
6.6 MALLESON STREET



KEY

- CONSERVATION AREA BOUNDARY
-  STREETScape LEVEL 1
-  STREETScape LEVEL 2
-  A BUILDING
-  B BUILDING
-  C BUILDING

MAP



Malleson Street looking north west, 1984.

6.6.1 History and Description

The Crown grantee for this area was Charles Williams (auctioneer) in 1839.

In 1840 Captain John Roach purchased five acres from Williams and erected 'Stonehenge' at 333 Church Street. The property was sold in turn to Mrs. Baker, Henry Marsh, Thomas Fleetwood and Alfred Brookes Malleison,¹ and became known as Malleison's farm.

The property which extended to Mary Street was subdivided by Malleison to create Malleison Street and the T-intersection with Lyndhurst Street (fig. 6.62).

Malleison was one of the founders in 1857 of the large firm of solicitors known as Malleisons. The firm had branches in the gold towns of Castlemaine, Bendigo and Ballarat. Its clients were The Melbourne & Hobsons Bay Railway Co., early banks, Adam Lindsay Gordon and Dame Nellie Melba.²

The next owner of the property was G.H. Bennett, a former mayor of Richmond and member of parliament. It was next purchased by the Sheppard family, then bequeathed to the Society of Jesus as the Loyola hospital. In 1957 the house, which in its final form was in the Edwardian style, was drastically altered to become Messenger House (fig. 6.63).³

6.6.2 Statement of Significance

The Malleison Street area is a remarkably consistent streetscape of Edwardian houses.

1. White, J.U., op.cit.
2. The Age, 19.11.84.
3. Jesuit Year Book 1968, p.109.

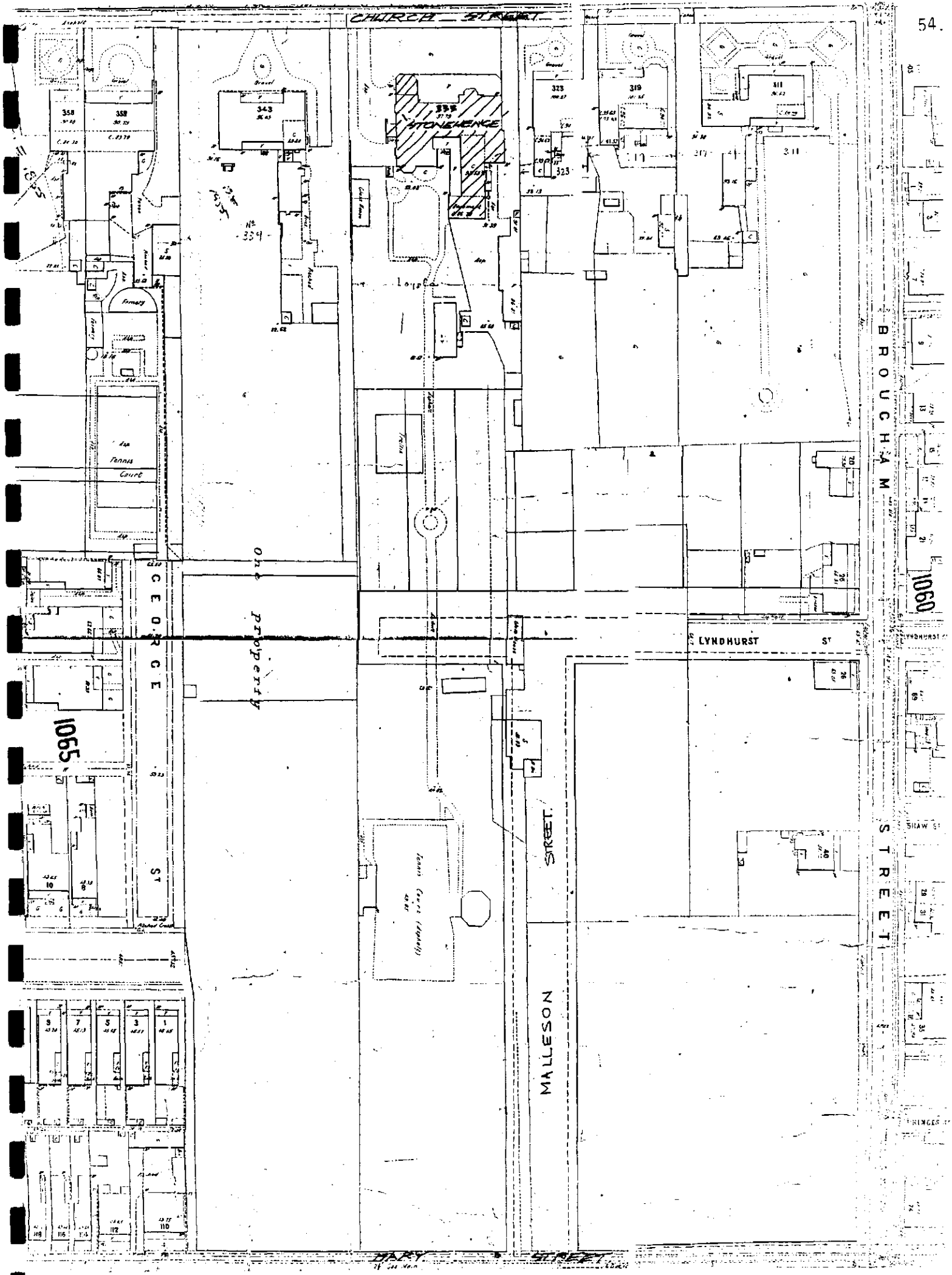


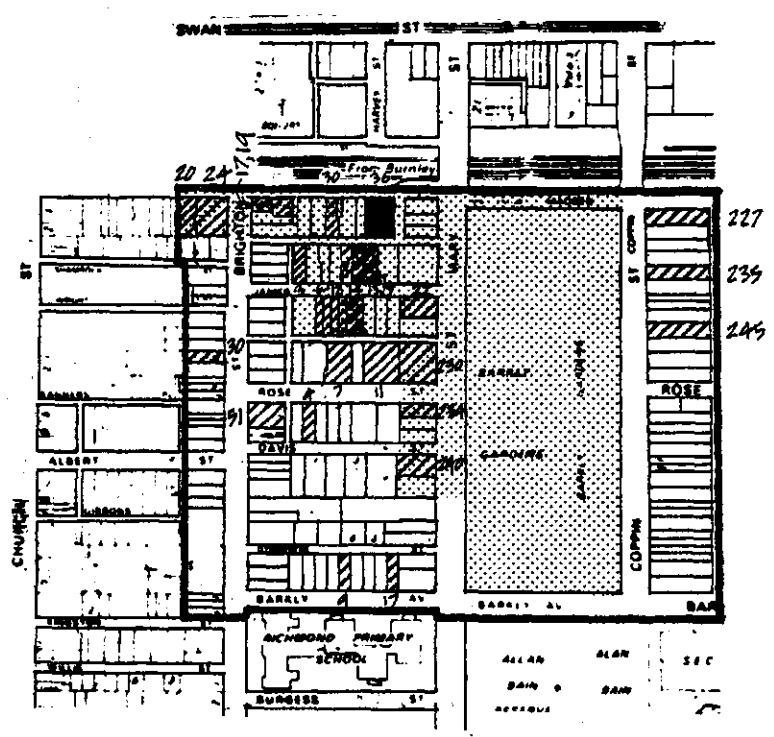
Fig. 6.62 M.M.B.W. map showing 'Stonehenge' and the Malleon Street subdivision, 1898.



. . . and a

Fig. 6.63 'Stonehenge' (at left) in 1956 prior to conversion to Messenger House (at right) in 1957

6.7 BARKLY GARDENS



KEY

- CONSERVATION AREA BOUNDARY
- STREETScape LEVEL 1
- STREETScape LEVEL 2
- A BUILDING
- B BUILDING
- C BUILDING

MAP



James Street looking east, 1984.

6.7.1 History and Description

This area is part of the Crown allotments 7, 8 and 9 (fig. 6.1). Allotments 7 and 8 were purchased by John Robert Murphy in 1849.

By 1853, Murphy had begun subdivisions creating Brighton Street (then called Occupation Road) and Lesney Street (fig. 6.2). Further subdivisions by Murphy in 1854 resulted in the present street layouts with the exception of Mary Street which was labelled as a Government reserve and no frontages were made to it (fig. 6.64). By 1855 many buildings had been constructed in the area (figs. 6.65, 6.66).

In 1860 the railway to Pic-nic station was constructed along the north side of Lesney Street.

Crown allotment 9 was subdivided and sold by the Government in 1880 and 1882, creating the blocks along the east side of Coppin Street.¹ Barkly Square first appears on an 1865 Lands Department map (fig. 6.67).

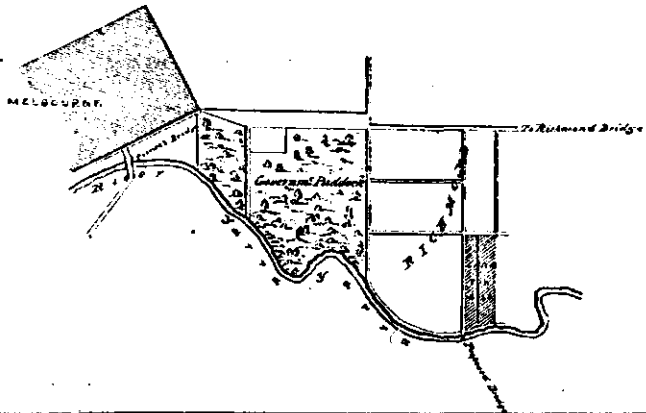
Barkly Square was planted with avenues of trees along a geometrical pattern of gravel paths (figs. 6.68, 6.69) and with beds featuring specimen trees (fig. 6.70). It also had a bandstand. Some of the avenue planting has been removed to accommodate a large playground which, together with a recent sports pavilion and maintenance shed, compromise the integrity of the Square.

6.7.2 Statement of Significance

This area contains the only example of a residential garden square in Richmond, an enlightened 19th century planning device deriving from London rarely used in Melbourne. The houses along Mary and Coppin Streets complement the square, while many important timber and stone cottages dating from the 1850's and 1860's remain in Lesney, Rose, Mary and James Streets.

1. Richmond parish map.

SKETCH
Showing the position of the land for sale.



PLAN
OF
SUBURBAN LANDS

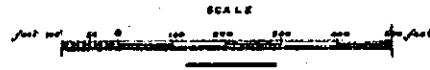
BEING
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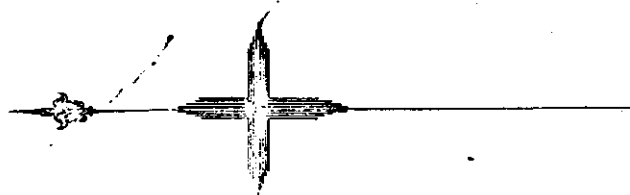
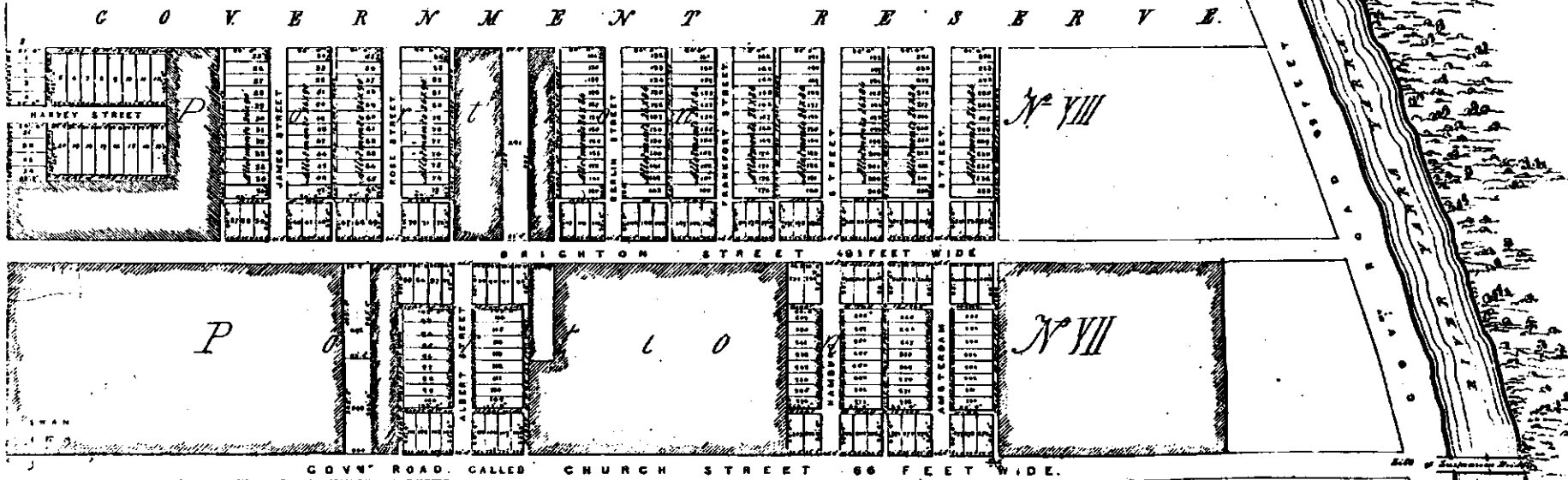
IN THE PARISH

OF
JIKAJIKA

To be sold at Auction on the ground on Tuesday & Wednesday
68 & 79 December by W. H. Cropper at 4 o'clock p.m.



CDVY ROAD 27 SWAN STREET 66 FEET WIDE



N.B The distances on the Plan are marked in feet & inches.

Chas Emry Architect to
Surrenden Street

Fig. 6.64 Subdivision of Barkly Gardens area, 1854

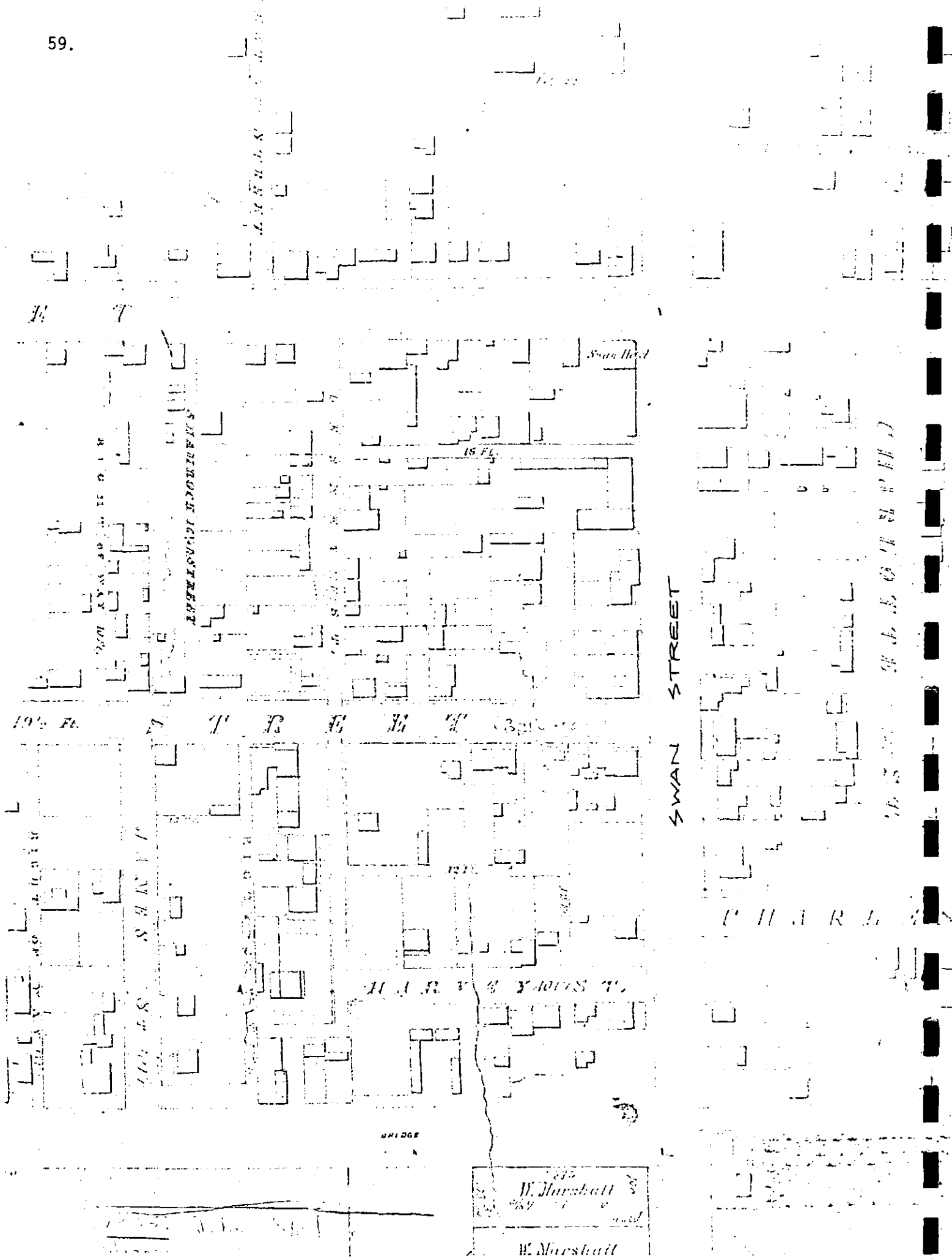


Fig. 6.65 Building development, James and Lesney Streets, Magee map, 1855

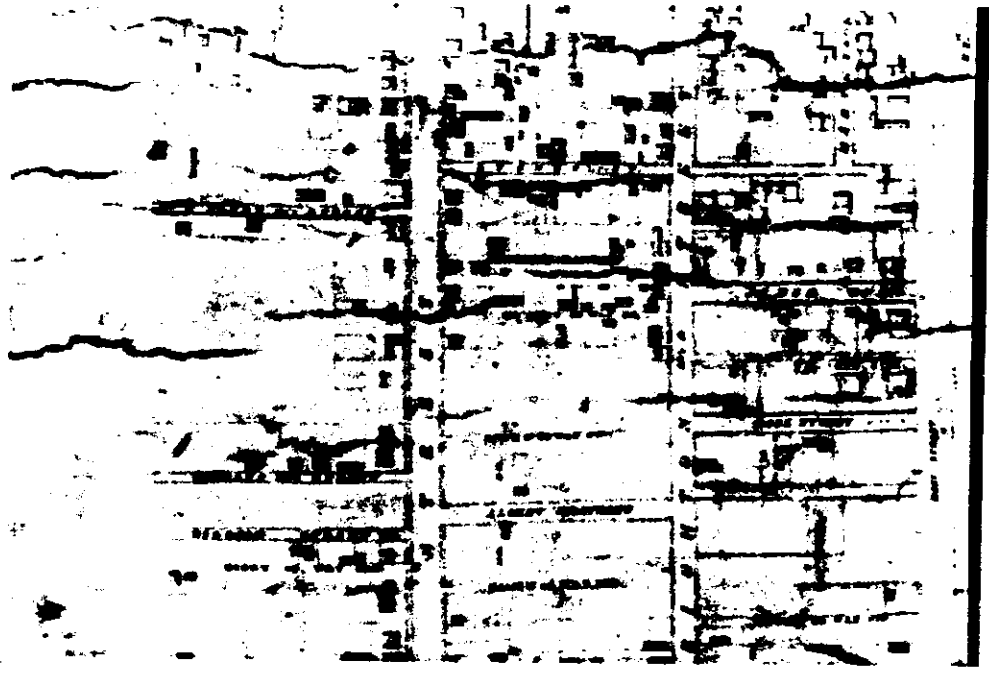


Fig. 6.66 Building development in Barkly Gardens area, Magee map, 1855

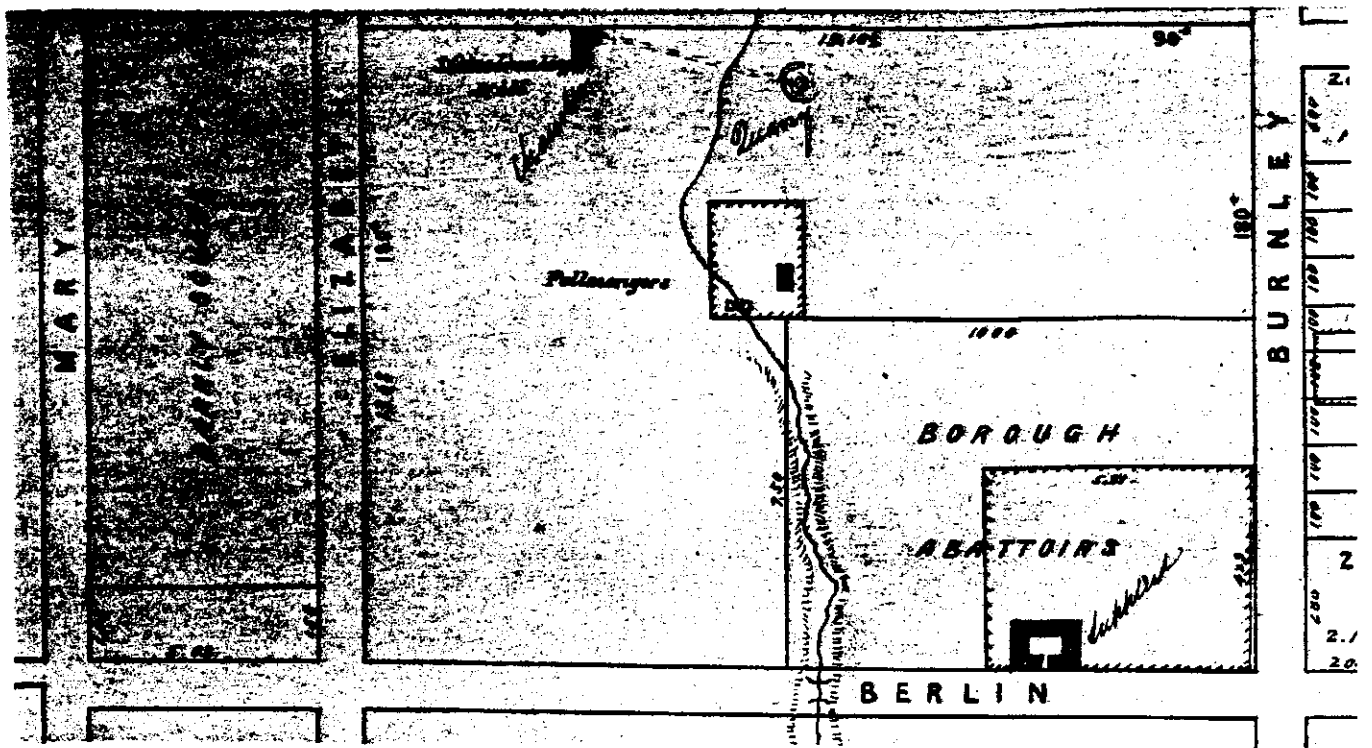
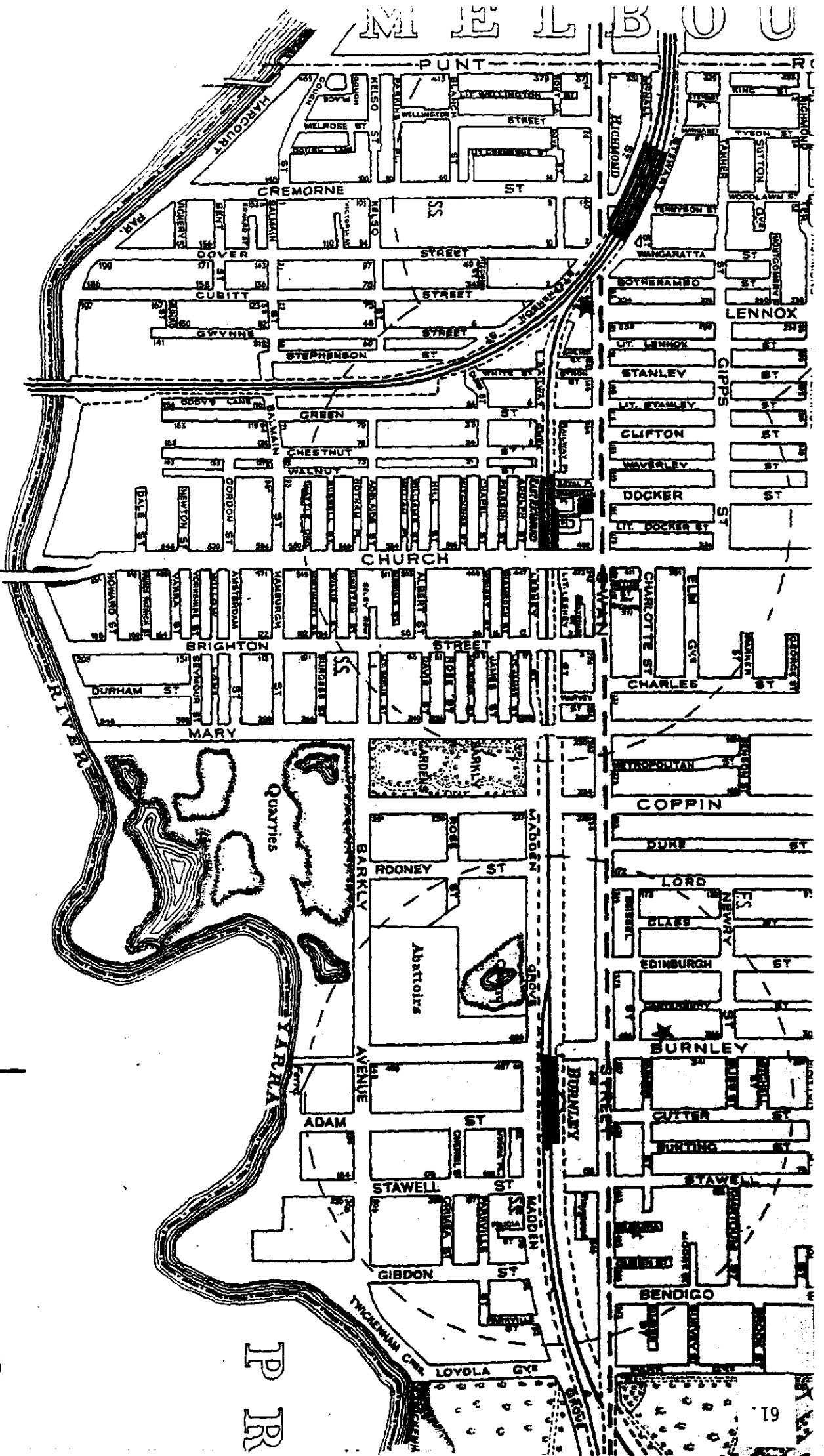


Fig. 6.67 Barkly Square as shown on an 1865 Lands Department survey by J. Noone



TRIUMPH and A.J.S.

MOTOR CYCLES

PLUMBE BROS

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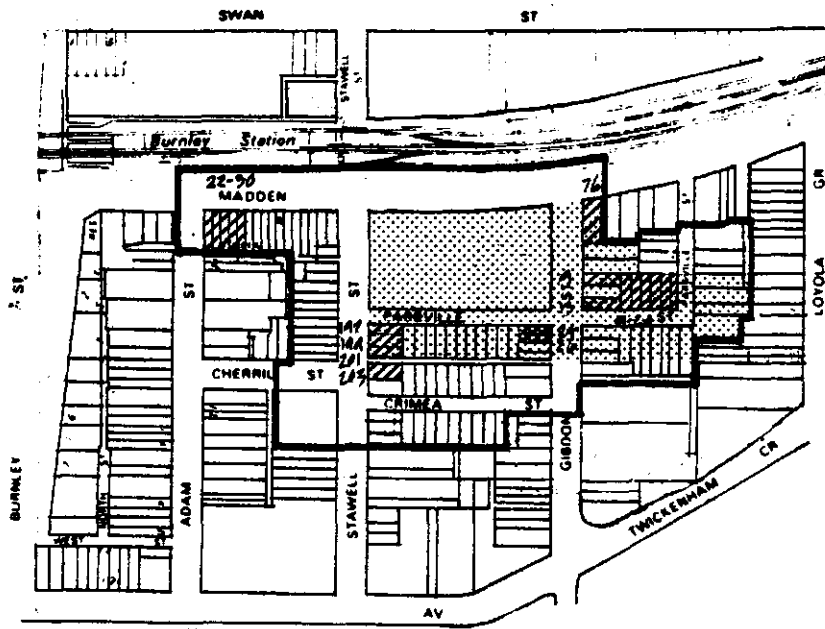


Fig. 6.69 Barkly Square, c. 1920


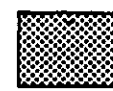
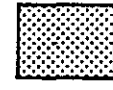





Fig. 6.70 Barkly Square, c. 1915

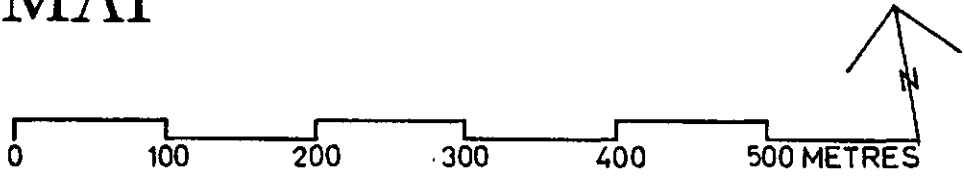
6.8 GOLDEN SQUARE



KEY

-  CONSERVATION AREA BOUNDARY
-  STREETScape LEVEL 1
-  STREETScape LEVEL 2
-  A BUILDING
-  B BUILDING
-  C BUILDING

MAP



Parkville Street looking east, 1984.

6.8.1 History and Description

The area is part of Crown allotments 14 and 15 which were originally part of the Police Reserve.

The Government subdivided the allotments and sold the blocks during the 1860's and 1870's creating Madden Grove, Barkly Avenue, Stawell and Gibdon Streets (fig. 6.71).

By 1888 these blocks were further subdivided and Parkville, Crimea (formerly Normanby) and Felicia Streets were formed (fig. 6.10).

An M.M.B.W. maps shows that only about 50% of the blocks were built on by 1898 (fig. 6.72). Parkville and Crimea Streets in particular had very few buildings. However, the Burnley state school had been built in Madden Grove (fig. 6.73).

Early this century many champion racing pigeons were bred in the area and the name Golden Square resulted.

The buildings in Parkville and Crimea Streets are almost identical semi-detached Edwardian cottages, some of them allegedly built by Clements Langford for his construction workers. The state school and the adjacent housing were demolished by the Department of Education in 1979 and the site left vacant. The residents have claimed the site as a defacto square.

6.8.2 Statement of Significance

The area consists of relatively intact workers' cottages from the late Victorian and Edwardian periods with dominant repetitive gables, grouped around a defacto residential square and short narrow streets, creating a notable precinct.

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16

T. Wills

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25.0.0

J. M. Chisholm

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1930

1300

90' 0"

1300

86° 50' 200.5

SWAN ST

ST

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35	36	37	38	39	40	41	42	43	44	45
101	101	101	101	101	101	101	101	101	101	101

BURNLEY RLY STATION

MADDEN

GROVE

1	2	3	4	5
101	101	101	101	101

1	2	3	4	5
101	101	101	101	101

1	2	3	4	5
101	101	101	101	101

1	2	3	4	5	6	7	8	9	10
101	101	101	101	101	101	101	101	101	101

1	2	3	4	5	6	7	8	9	10
101	101	101	101	101	101	101	101	101	101

1	2	3	4	5	6	7	8	9	10
101	101	101	101	101	101	101	101	101	101

1	2	3	4	5	6	7	8	9	10
101	101	101	101	101	101	101	101	101	101

1	2	3	4	5	6	7	8	9	10
101	101	101	101	101	101	101	101	101	101

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1	2	3	4	5	6	7	8	9	10
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1	2	3	4	5	6	7	8	9	10
101	101	101	101	101	101	101	101	101	101

SUBDIVIDED 1861

SUBDIVIDED 1882



Fig. 6.71 First subdivisions in Golden Square

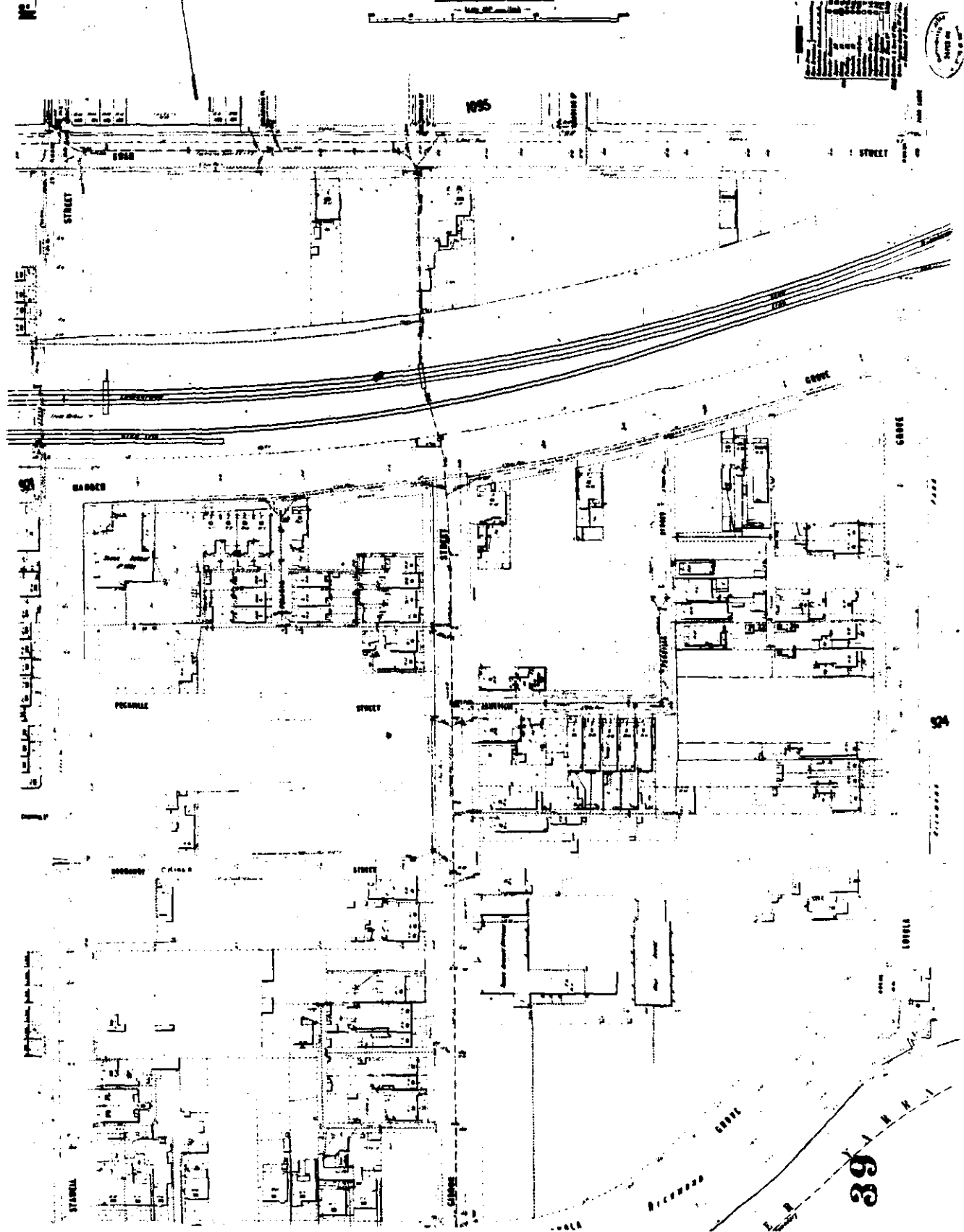


Fig. 6.72 M.M.B.W. map of buildings in Golden Square, 1898.

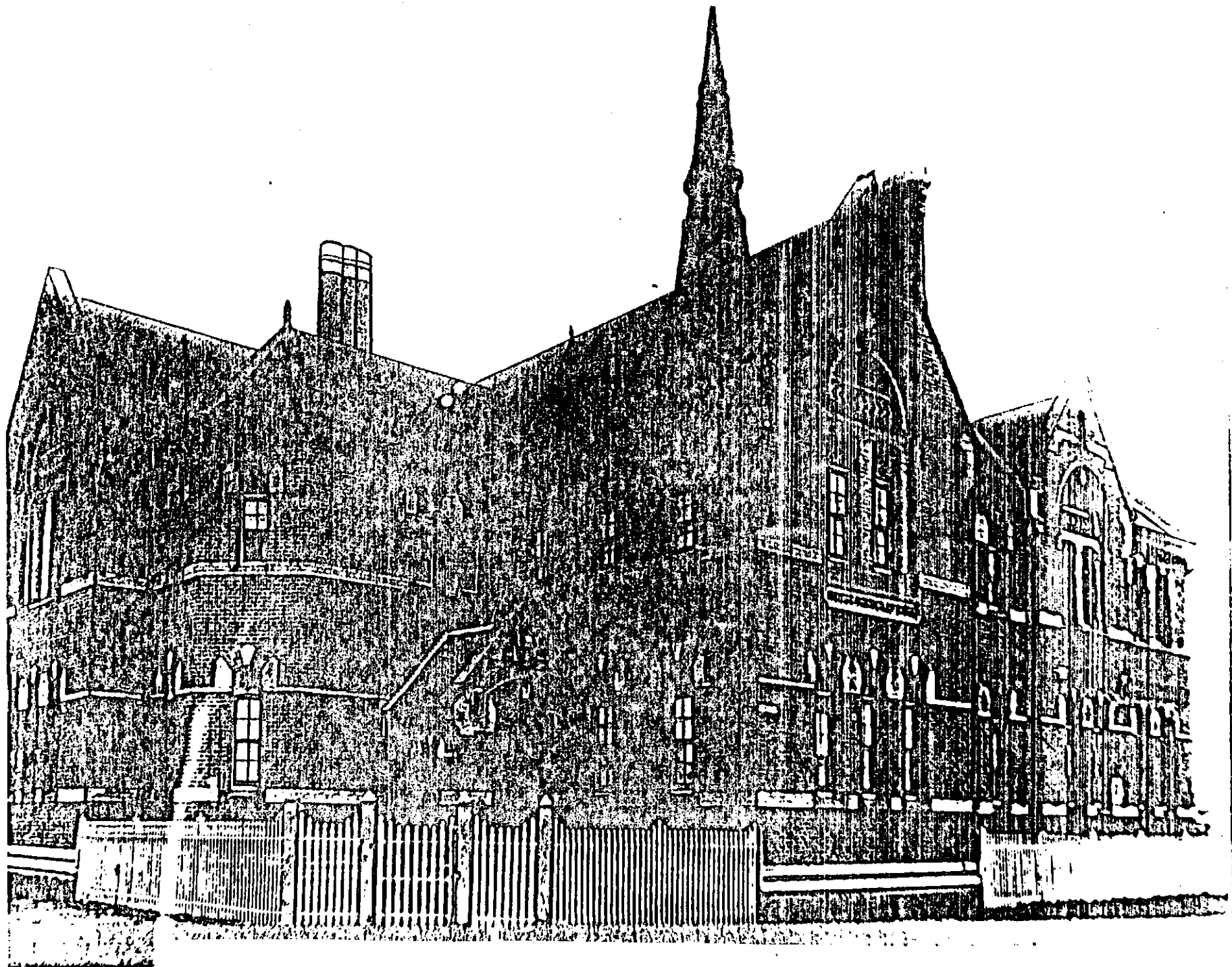
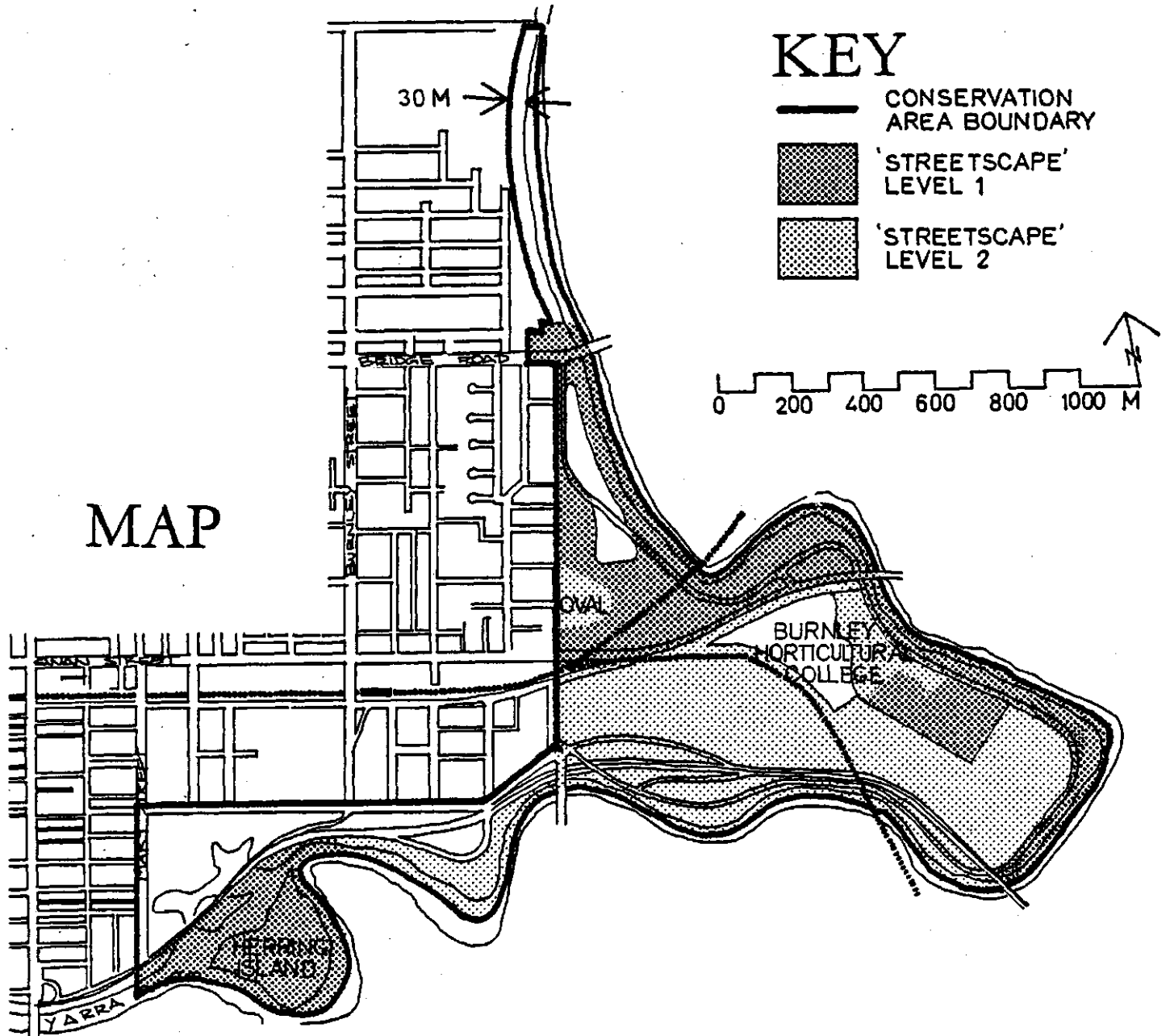


Fig. 6.73 Burnley state school, Golden Square (demolished)

6.9 RICHMOND RIVER BANK



Hawthorn Railway Bridge looking south, 1984.

6.9.1 History and Description

1. Victoria Street to Bridge Road

This area is part of Crown allotments 43, 42 and 33 purchased between 1845 and 1850 (figs. 6.1, 6.74) and allotment 32 which was reserved until subdivided by the Government in 1859.

By 1853 allotment 33 had been subdivided (fig. 6.2) and became known as 'Yarraberg'. It remains one of the oldest industrial areas in Melbourne (figs. 6.75, 6.76).

Along the river to the north of 'Yarraberg', villas with extensive gardens and orchards extended to the riverbank (fig. 6.75). Tanneries and David Mitchell's Victorian Brick Works were established beside the river by the 1860's.¹ Mitchell's residence, 'Doonside' (fig. 6.77), stood on the corner of Burnley Street and Doonside Street until demolished in the 1930's to make way for a factory. The corner of Burnley Street and Victoria Street was occupied by Thomas Cole's 'Richmond Nurseries' and the Victoria Street cable tram depot (established in 1886) until 1912 when Vickers Ruwolt built a factory on the site and began the manufacture of dredges for alluvial gold fields (figs. 6.78, 6.79). This corner is now totally engulfed by the Vickers Ruwolt factory but the front of the cable tram depot has been incorporated in the factory's Victoria Street facade (fig. 6.80).

Except for a derelict section of riverbank between Victoria Street and the end of River Street, the river frontage is now totally occupied by factories. Only one tannery remains in Richmond - Mayalls at 18 River Street.

The Victoria Street bridge was constructed across the Yarra in 1881 (figs. 6.81, 6.82). It was strengthened in 1916 to carry electric trains and widened in 1933.²

The Bridge Road bridge was first erected as a privately owned toll bridge to the design of David Lennox in 1855, replacing a punt service established in 1842 by Sir James Palmer. The existing bridge is a steel truss type with bluestone supports. Adjacent to the bridge is the O'Connell reserve and this with the adjoining cable tram depot (1885) forms an attractive gateway to Richmond.

2. Bridge Road to MacRobertson Bridge

This area was reserved as the Survey Paddock in 1838 (fig. 6.1).

In 1860 the railway was extended through the Survey Paddock and the Pic-nic station constructed beside the river. The Survey Paddock was described in 1862 as "...delightfully sequestered and the scenery exceedingly beautiful, the ground forming a succession of agreeable undulations profusely embellished with trees..."⁴

1. Survey by John Hawdon, 1867. Latrobe Library map collection.
2. Victoria Street bridge centenary celebration brochure, 1984.
4. Victoria Illustrated 1857 and 1862, Engravings from the original editions by S.T. Gill and N. Chevalier.

The railway was continued across the river to Hawthorn in 1861, using an imported iron bridge (fig. 6.82).

In 1862 the Government granted 25 acres within the Survey Paddock to the Horticultural Society of Victoria to establish the Experimental Gardens. These were for the purpose of acclimatising and cultivating fruits, flowers and vegetables on a plan comparable with similar institutions in England. The gardens were opened in 1863 and by 1874 the Society claimed to possess the most comprehensive collection of fruit outside Europe. By 1891 a total of 2,457 fruit varieties were grown at the gardens and an exhibition pavilion had been constructed (figs. 6.83, 6.84).

Funding problems in 1891 resulted in the Department of Agriculture taking over the gardens and establishing the School of Horticulture. In 1897, Bogue Luffman was appointed principal and the ornamental gardens which remain today began to take shape (fig. 6.85).⁵ Unfortunately, all the original buildings which were of interest have been systematically demolished (figs. 6.86, 6.87), and it seems that the Victorian sections of the garden are not being preserved and maintained in a sympathetic way.

In the 1870's a park keepers cottage was constructed in the Survey Paddock and this still exists although substantially altered. By 1888 the Survey Paddock had become Richmond Park (fig. 6.83). Lakes and lagoons are evident and the existing walkway between Bridge Road and Swan Street (fig. 6.88) is shown lined with an avenue of trees and curving across to the former Pic-nic railway station and then to the entrance of the Horticultural Society's Gardens. The Glen Iris railway had also been constructed and the Richmond Park station opened. The path system and avenue planting had been extended by 1921 creating the existing walkway between Bridge Road and Park Grove (figs. 6.89, 6.90).

Between 1874 and 1888 Swan Street was extended through Richmond Park and across the river to Hawthorn (figs. 6.9, 6.10, 6.91, 6.92).

During the early 1930's the Yarra Boulevard was constructed along the river by 'sustenance' workers. The project was a Government employment creating scheme (fig. 6.93).

A river redgum alleged to be a marker tree associated with the Wurundjeri Aboriginal group remains in the park. This group is believed to have occupied the Richmond area for at least 35,000 years, the last full-blood member dying in 1903. Marker trees were used by Aboriginals to indicate that events such as rituals, initiation ceremonies or corroborees happened in the vicinity. It is uncertain whether or not the existing tree is a marker tree. It may have just been a tree from which bark was broken for canoes, shields or shelters. Either way, the tree is seen as a memorial for those Aboriginals who formerly lived in the area.⁶

The extension of the railways and roads through the park caused its fragmentation. More recent intrusions have served to alienate the area:

- use of the riverbank opposite Westbank Terrace as a tip then as the site for the Richmond High School

5. Garden History Society Journal no. 2, 1981, p.11.

6. White, J.U. The Richmond times, 4th December, 1984, p.5.

- establishment of the Burnley Primary School in portable buildings
- the sheds and outbuildings along Swan Street belonging to the Burnley Horticultural College
- sporting facilities, particularly Burnley Oval
- the council plant nursery and associated buildings
- south eastern freeway.

The lack of attention to planting has resulted in a reversion to a series of paddocks in what was earlier an area of Arcadian delight.

3. MacRobertson Bridge to Mary Street

This area is part of Crown allotments 9, 10, 11, 12, 13, 14 and 15 (fig. 6.1).

The river end of allotments 9, 10, 11 and 12 contained basalt quarries (figs. 6.90, 6.94). In 1927 the M.M.B.W. straightened the course of the river creating the seven acre Herring Island, and one of the quarries became the M.M.B.W. boat harbour. Subsequently, the remaining quarries were filled in, and an S.E.C. terminal station was constructed, an R.C.A. depot established, and the Allan Baines and McConchie reserves created.

The river end of allotments 13, 14 and 15 were subdivided and sold by the Crown in 1882 (fig. 6.71). In 1934 Sir McPherson Robertson financed the construction of the MacRobertson Bridge, replacing the Twickenham Ferry (figs. 6.95, 6.96).

In 1967 all buildings south of Barkly Avenue were demolished for the construction of the south eastern freeway. An area of alienated land, known as Loy's Paddock, remains between the freeway and the river.

The construction of the freeway and S.E.C. terminal station, the creation of Herring Island, and the M.M.B.W. and R.C.A. depots have resulted in the severance of an extensive area of river frontage from Richmond.

6.9.2 Statement of Significance

This area, which has a colourful history, is significant as a parkland and a river frontage adjacent to a dense urban area. It provides striking landscape contrasts, from the carefully designed Horticultural Gardens to the open spaces supporting public recreation facilities and the Yarra Boulevard, a Melbourne landmark not readily associated with Richmond.

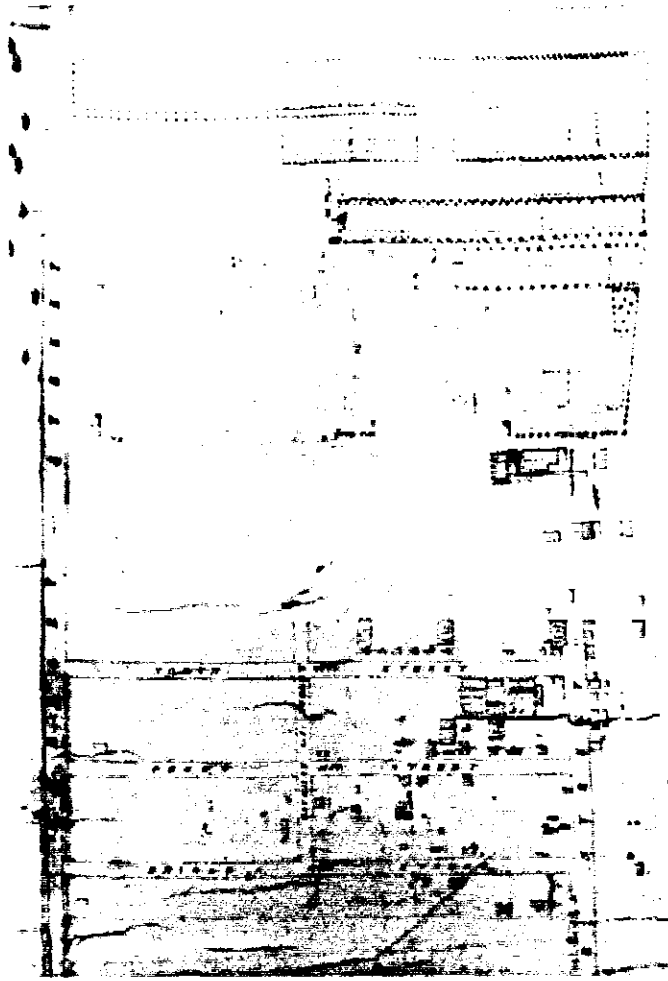


Fig. 6.75 'Yarraberg' as shown on the 1855 Magee map

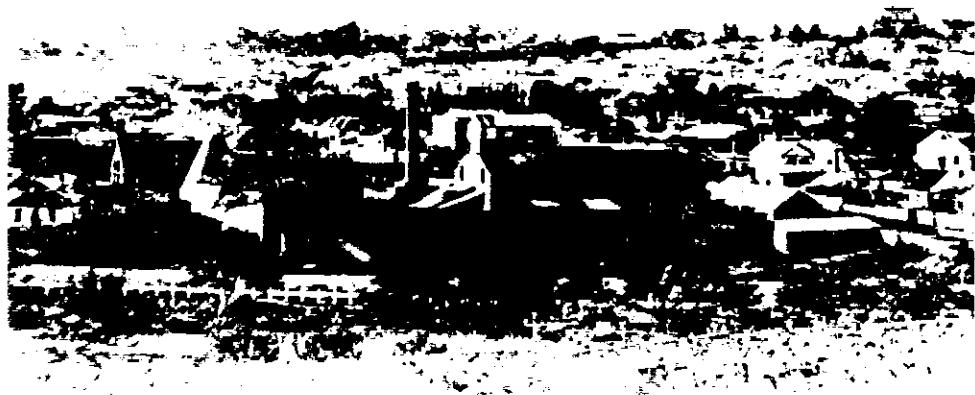


Fig. 6.76 'Yarraberg' in the 1870's looking south west from the river. River Street is on the right, the Yarraberg tannery in the foreground (demolished)



Fig. 6.77 'Doonside', the residence of David Mitchell
cnr. Burnley and Doonside Streets (demolished)

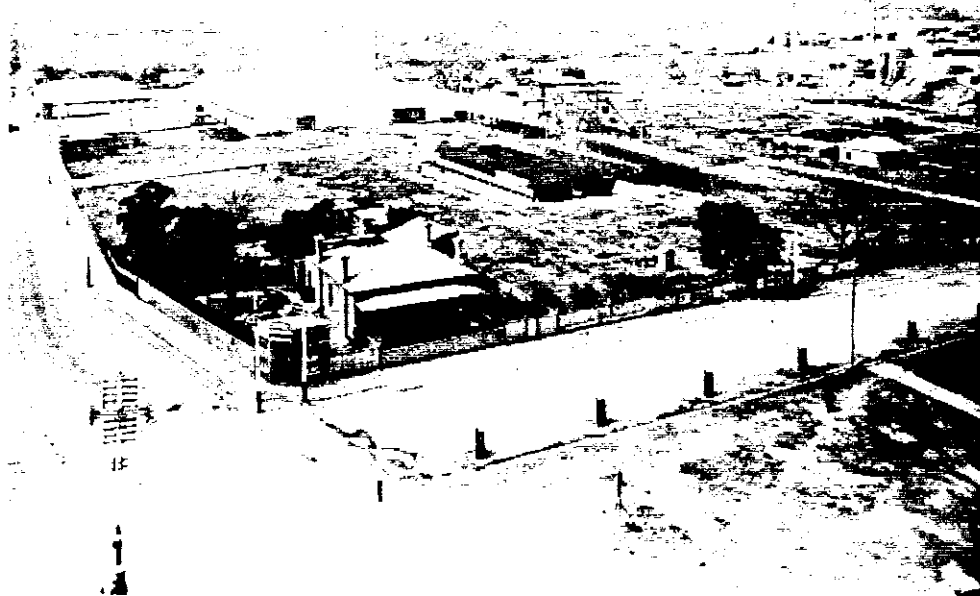


Fig. 6.78 Corner Victoria & Burnley Streets, c. 1912 showing
Vickers Ruwolt constructing dredges on the site of
Cole's nursery. The cable tram depot is in the left
background, Cole's home is on the corner.

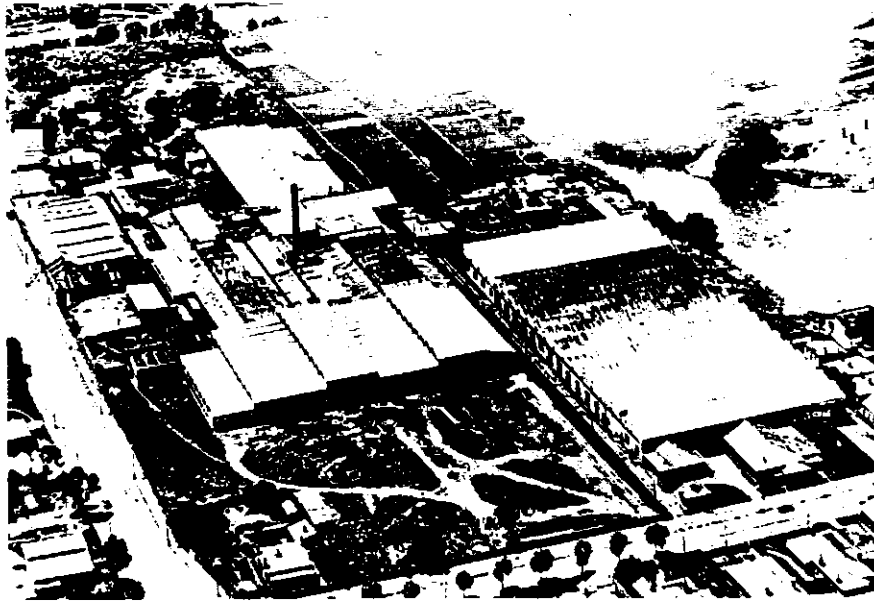


Fig. 6.79 Corner Victoria and Burnley Streets, c. 1930. David Mitchell's clay pit is on the right, market gardens are in background

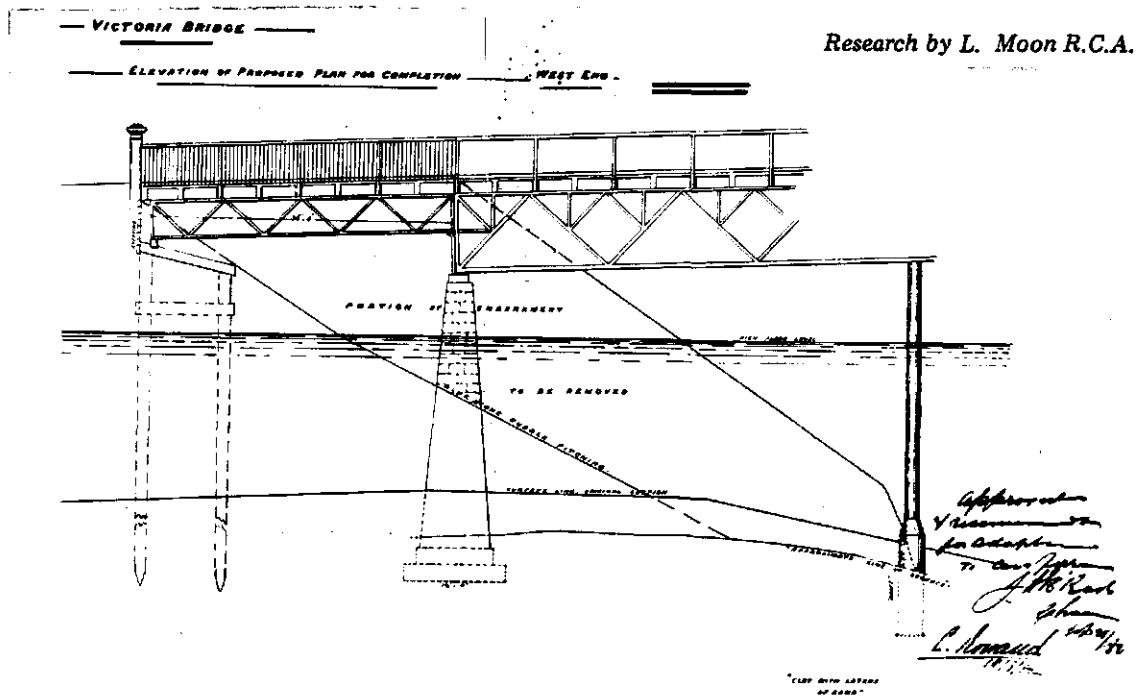


Fig. 6.80 Original working drawing of Victoria Street bridge, 1880

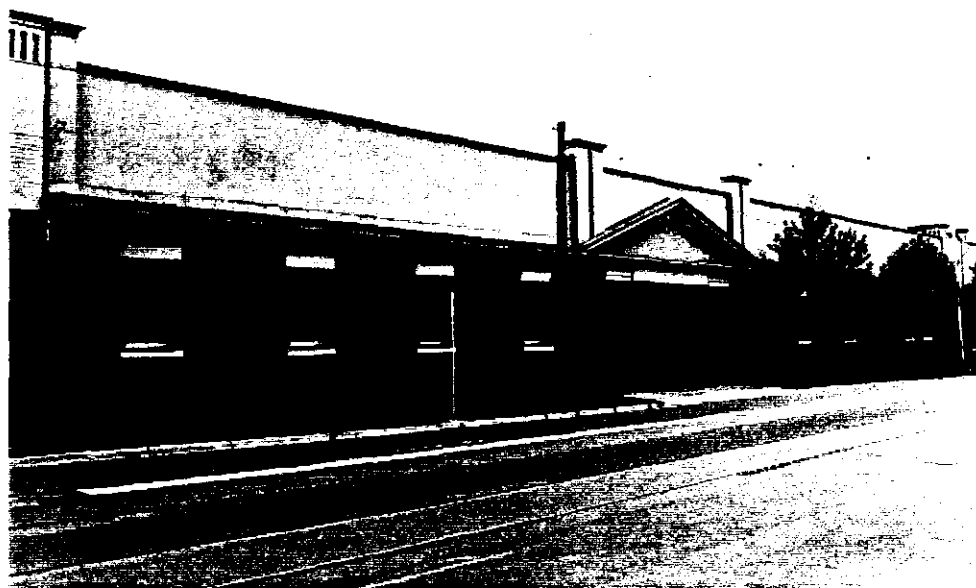


Fig. 6.81 Cable Tram Depot incorporated in facade of Vickers Ruwolt, Victoria Street, 1984



Fig. 6.83 The riverbank and Hawthorn railway bridge, 1862

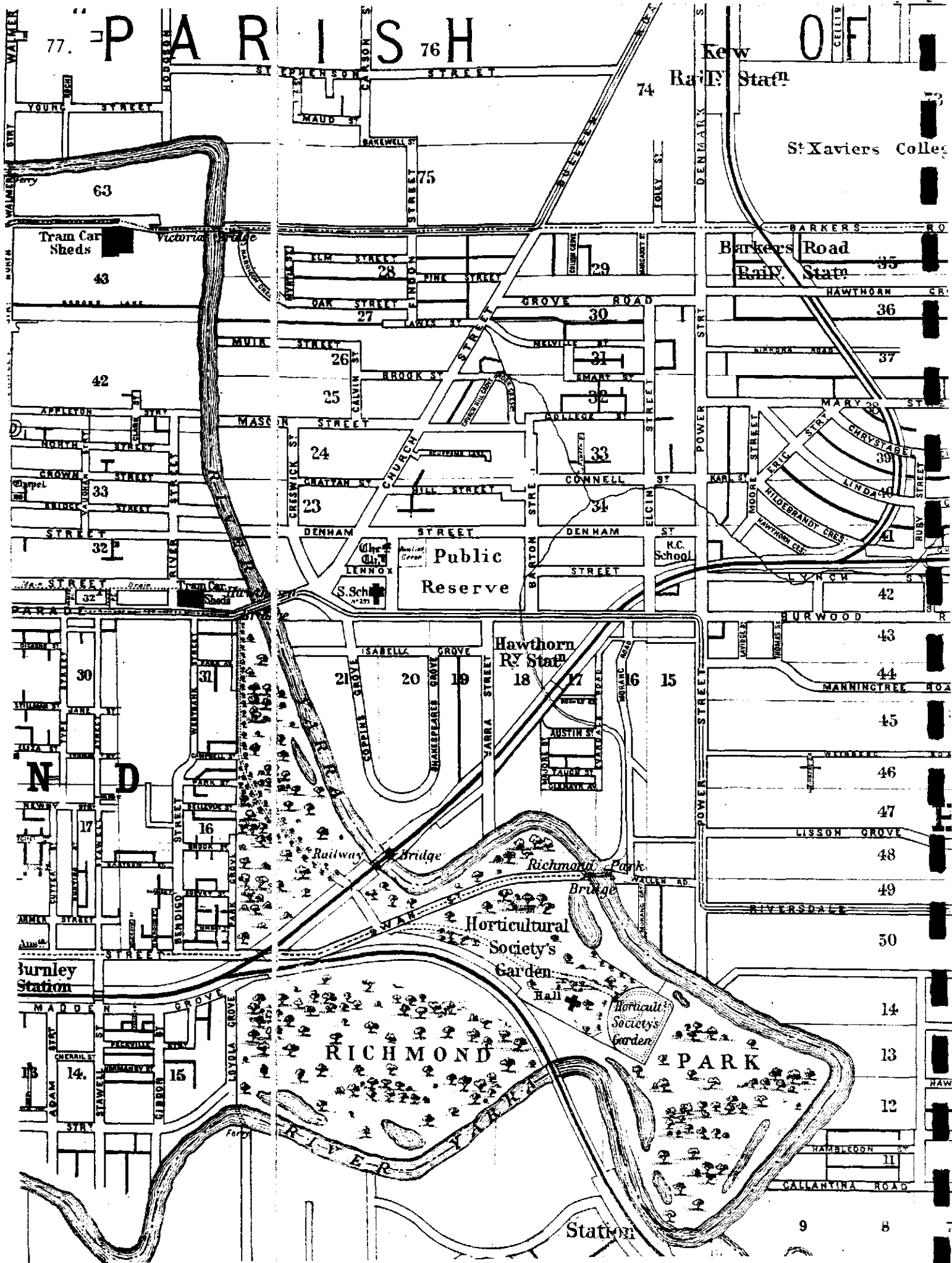


Fig. 6.83 Horticultural Society of Victoria's Experimental Gardens, 1888



Fig. 6.84 Horticultural Society of Victoria's exhibition pavilion, c. 1890 (demolished)

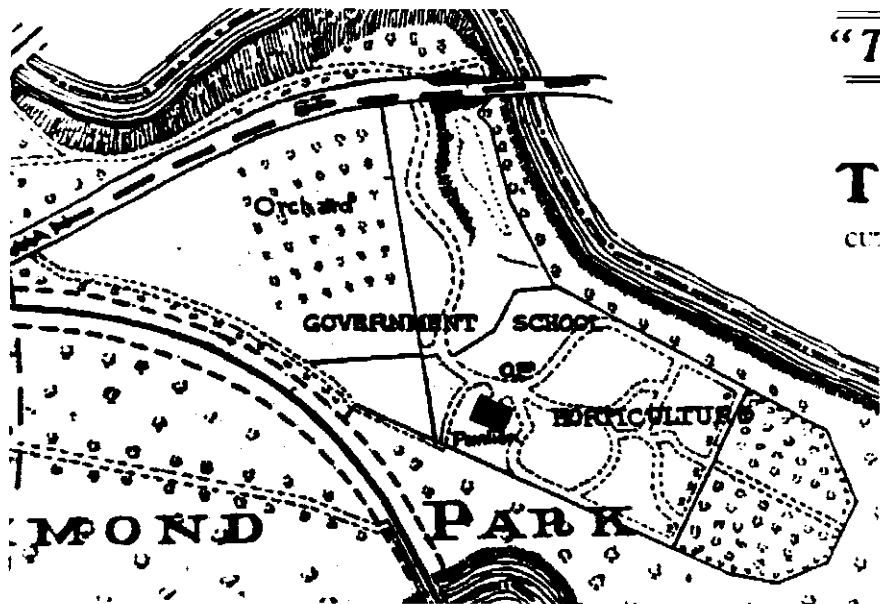


Fig. 6.85 School of Horticulture gardens, 1921



Fig. 6.86 Entrance to the School of Horticulture,
Swan Street, c. 1900 (demolished)



Fig. 6.87 Director's Residence,
School of Horticulture, c. 1900 (demolished)



Fig 6.88 Walkway between Bridge Road and Swan Street, 1984.



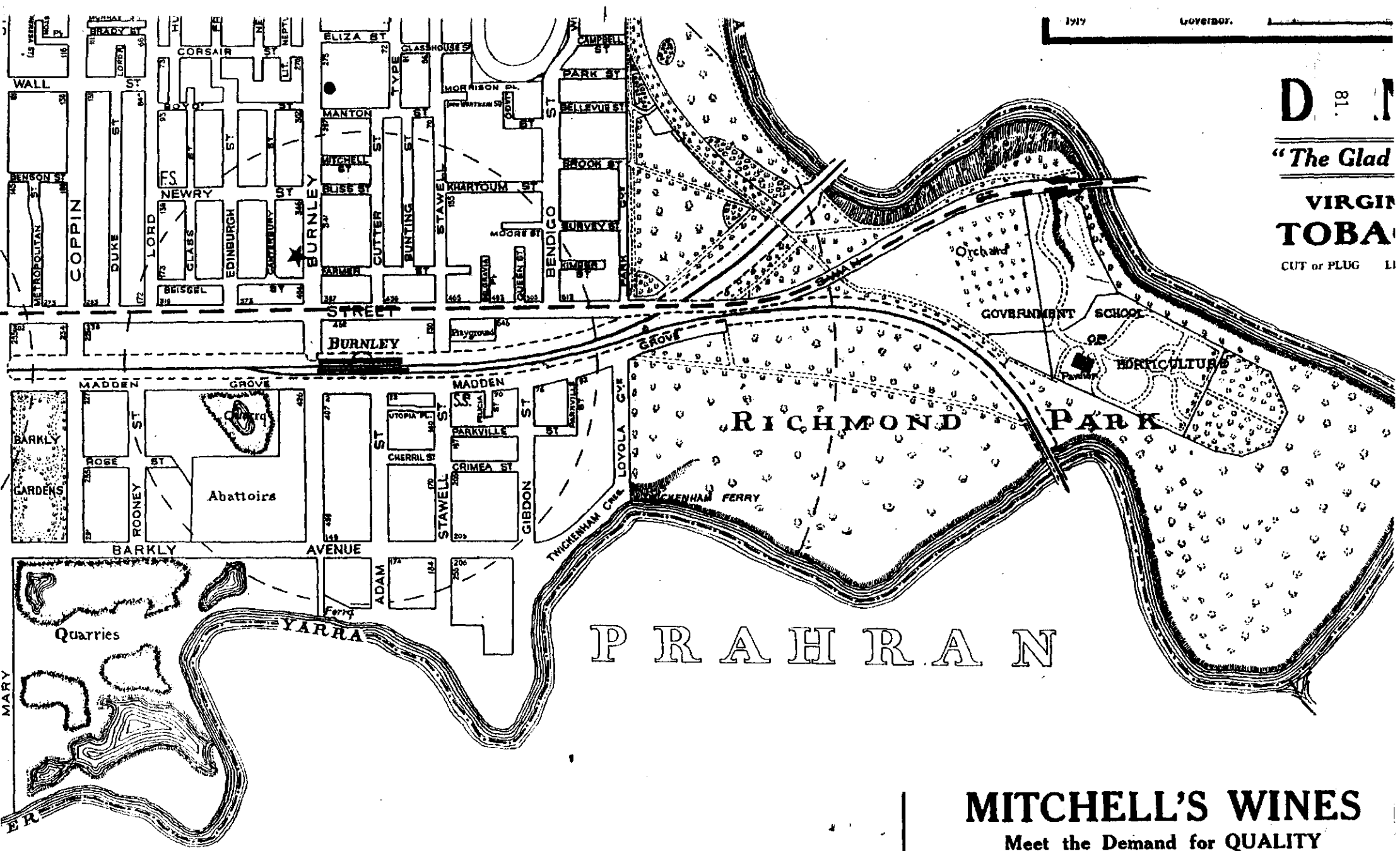
Fig. 6.89 Walkway between Bridge Road and Park Grove, 1984.

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VIRGIN TOBACCO

CUT or PLUG LI



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MITCHELL'S WINES

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PH and A

Fig. 690 Richmond Park, 1921

P. F. W. E. R.

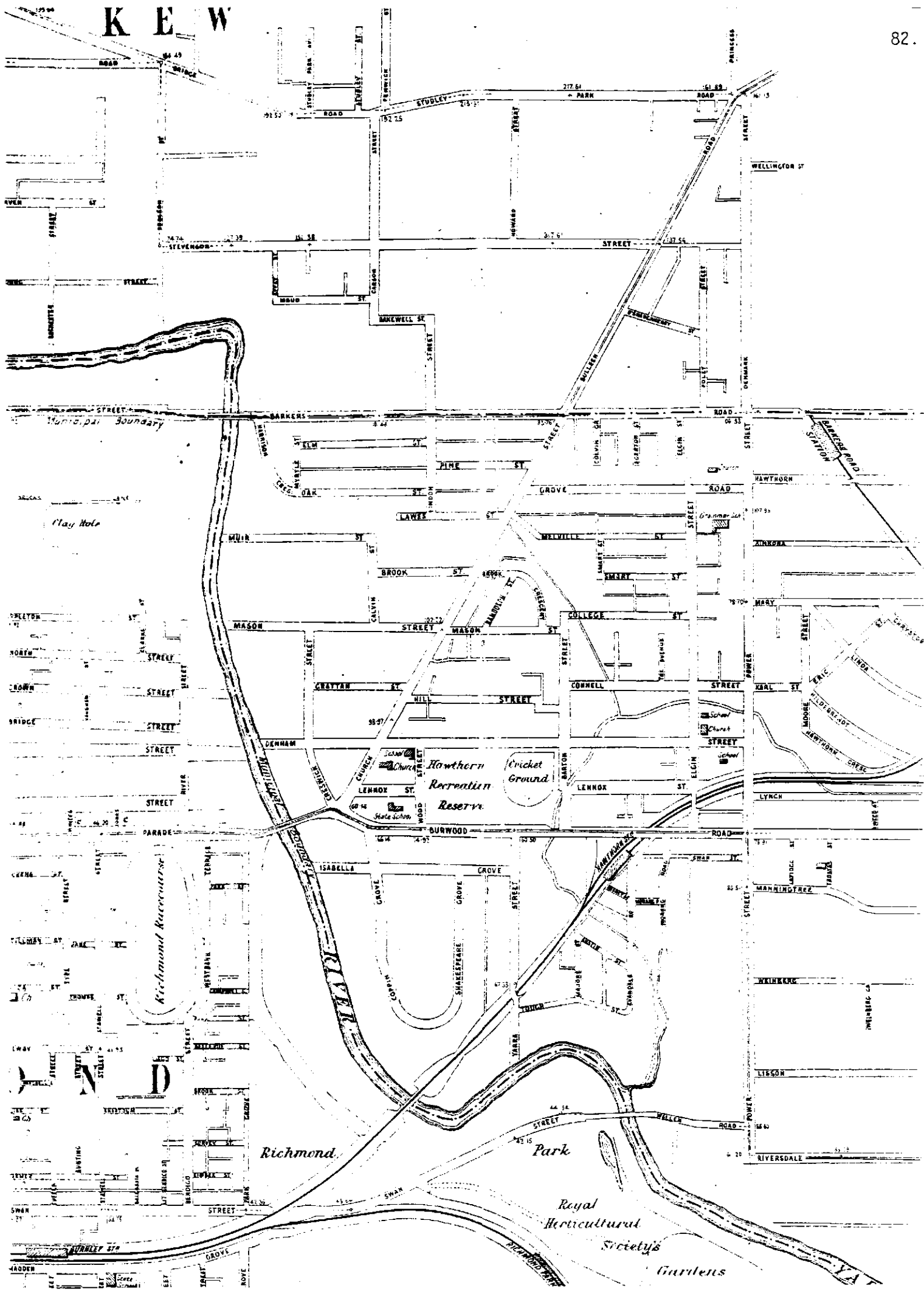


Fig. 6.91 Richmond Park, 1896

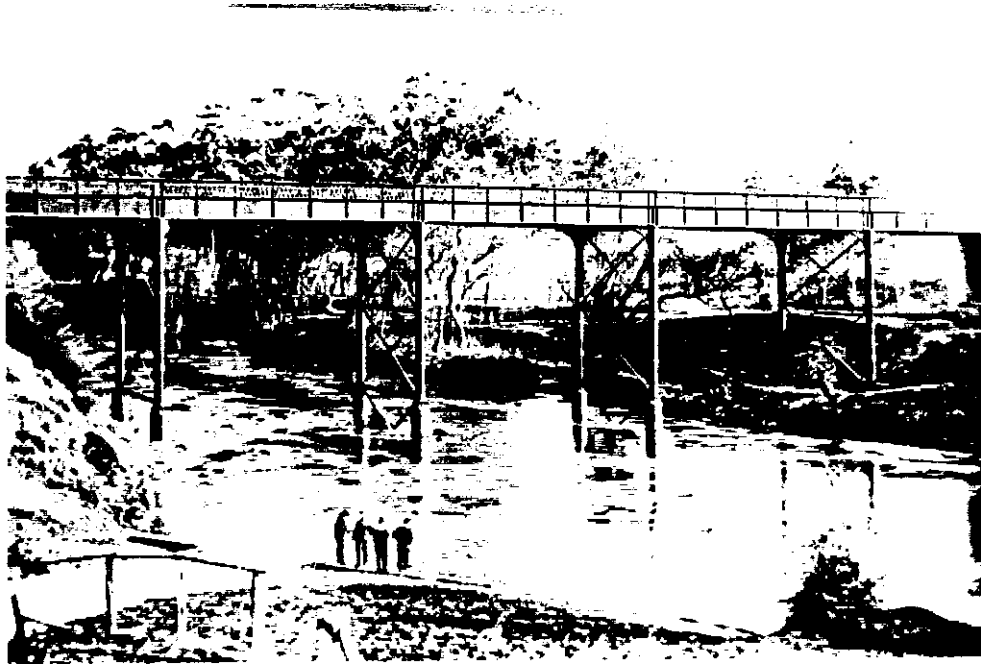


Fig. 6.92 Swan Street bridge, 1890's



Fig. 6.93 'Sustenance' workers constructing the Yarra Boulevard, c. 1932



Fig. 6.94 Basalt quarries, Burnley, looking north along Mary Street with Barkly Square in background, and St. Ignatius on the hill before its spire was completed in 1928



Fig. 6.95 Twickenham ferry, Loyola Grove, undated (demolished)

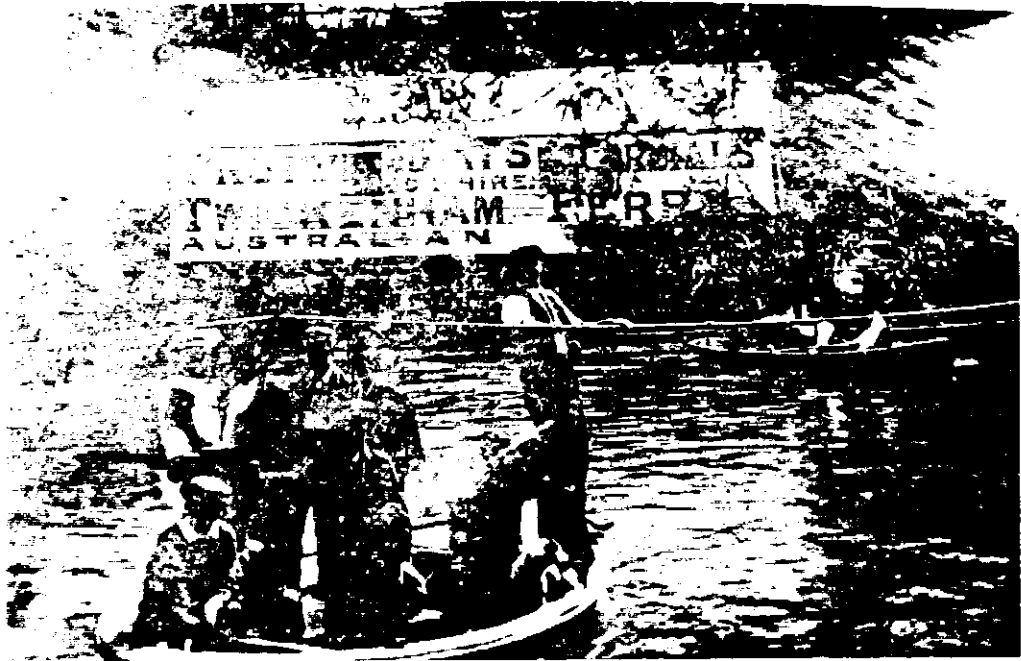


Fig. 6.96 Twickenham ferry, Loyola Grove, undated (demolished)

6.10 GRAPHIC DOCUMENTATION SOURCES

- 6.1 Lands Department, Central Plan Office
- 6.2 LaTrobe Library map collection
- 6.3 Magee map 1855, Lands Department
- 6.4 Mrs Kitty Gahan, great grand-daughter of Alexander McCrae, Kew.
- 6.5 Ibid
- 6.6 Ibid
- 6.7 Ibid
- 6.8 White, J.U. after the original in the LaTrobe Library
- 6.9 LaTrobe Library map collection
- 6.10 Ibid
- 6.11 LaTrobe Library picture collection
- 6.12 LaTrobe Library map collection
- 6.13 Richmond Historical Society
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- 6.62 M.M.B.W. map, 1898
- 6.63 'Messenger' October 1957, pp.622-23
- 6.64 LaTrobe Library map collection
- 6.65 Magee map 1855, Lands Department
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- 6.72 M.M.B.W. map, 1898
- 6.73 Richmond Historical Society
- 6.74 Parish map, Richmond City Council
- 6.75 Magee map 1855, Lands Department
- 6.76 LaTrobe Library picture collection
- 6.77 Richmond Historical Society, sketch by J.U. White
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- 6.79 Richmond Historical Society
- 6.80 Victoria Street bridge centenary brochure prepared by L. Moon of the Road Construction Authority, 1984
- 6.81 Authors
- 6.82 Newnham, W., ed. Victorian Illustrated 1857 to 1862, Melbourne, 1971
- 6.83 LaTrobe Library map collection
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- 6.86 Burnley School of Horticulture library
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- 6.90 LaTrobe Library map collection
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- 6.93 Caroll, Brian. Melbourne an Illustrated History, Melbourne, 1976
- 6.94 Richmond Historical Society, oil painting by Buckmaster, 1924
- 6.95 LaTrobe Library picture collection
- 6.96 Ibid

7.0 A BUILDINGS

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 1 Bridge Road

BUILDING TITLE **TYPE** Former Cable Tram Engine
If not residence House

EXISTING DESIGNATION HBR NER NTC F.3892

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 15.7.84 **NEG. FILE** 26-11

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

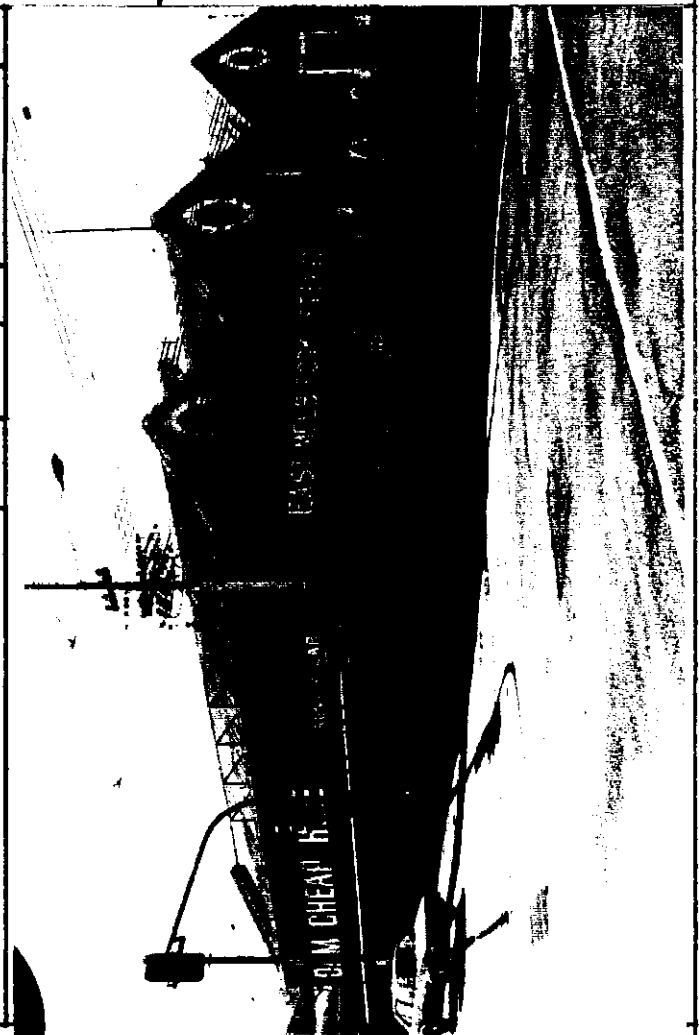
Walls Polychromatic Brick Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Shopfront Window	O		
			Signs	R		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Significant internal structure.
Chimney stack missing.

FORMER CABLE TRAM ENGINE HOUSE **1 Bridge Road**

History and Description

This building was the first of 11 tram engine houses erected between 1885 and 1891 to operate the Melbourne cable trams. It was built by the Melbourne Tramways Trust and leased to the Melbourne Tramway & Omnibus Co. Ltd. which owned and operated the system. The system was the world's largest single cable tram network. Prior to 1885 the company operated an extensive service of horse drawn omnibuses and the cable tram network was virtually a copy of the omnibus routes.

The Richmond engine house was closed in 1927 and has since been used as a garage, factory and warehouse. The cable winding machinery and chimney stack have been removed.

The building is still owned by the Melbourne Tramways Board, is an important element at one of the main entry points to Richmond, and complements the cable tram depot at the other end of Bridge Road.

Statement of Significance

1 Bridge Road is significant as the first cable tram engine house in Melbourne. The building is substantially intact.

References

National Trust file no. 3142.
Correspondence from Tramways Museum Society of Vic. to Government Buildings Advisory Council, June 1983.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 649 Bridge Road

BUILDING TITLE

TYPE Former Cable Tram Depot
If not residence

EXISTING DESIGNATION HBR **NER** **NTC** F.4138

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 13.8.84 **NEG. FILE** 68-21

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

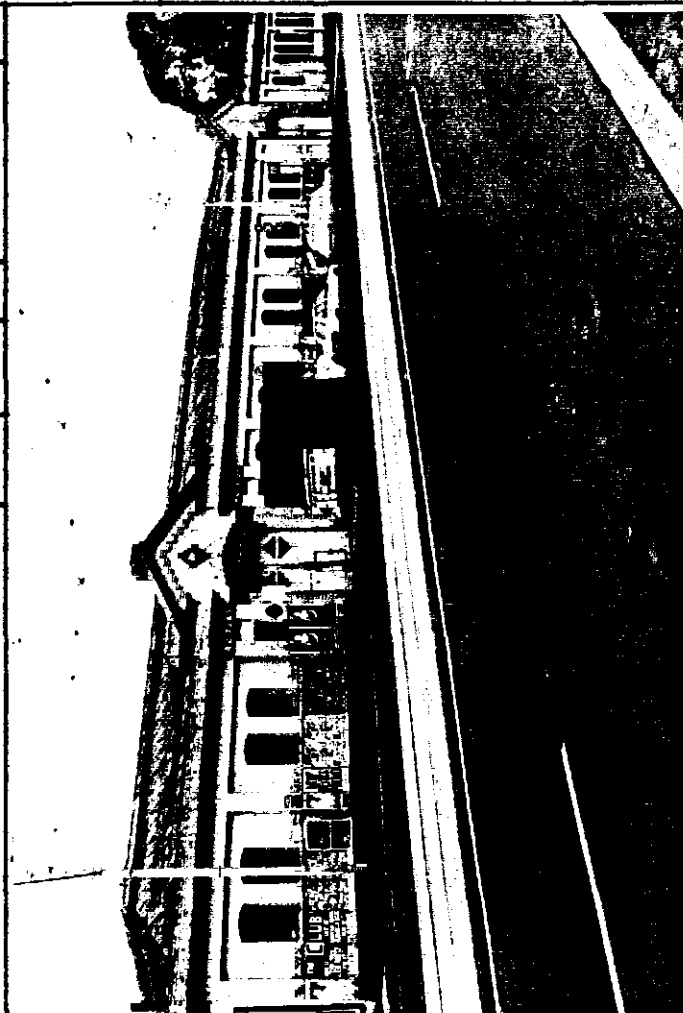
Walls Brick/Iron Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Brickwork	RAM		
			Signs	R		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER CABLE TRAM DEPOT
649 Bridge Road

History and Description

This building was the first of 15 tram depots built between 1885 and 1891 to house the Melbourne cable trams. The depots were built by the Melbourne Tramway & Omnibus Co. Ltd. which owned and operated the service. The tracks and eleven cable winding engine houses were built by the Melbourne Tramways Trust and leased to the company until 1916. Thereafter, the system was vested in a Tramways Board. Prior to 1885 the company operated an extensive service of horse drawn omnibuses and the cable tram network was virtually a copy of the omnibus routes.

The Richmond depot was closed in 1927 and it is the only one which remains relatively intact. A collection of cable trams is held at Northcote and Bylands (near Kilmore).

The depot is now owned by the Crown and is an important element at one of the main entry points to Richmond.

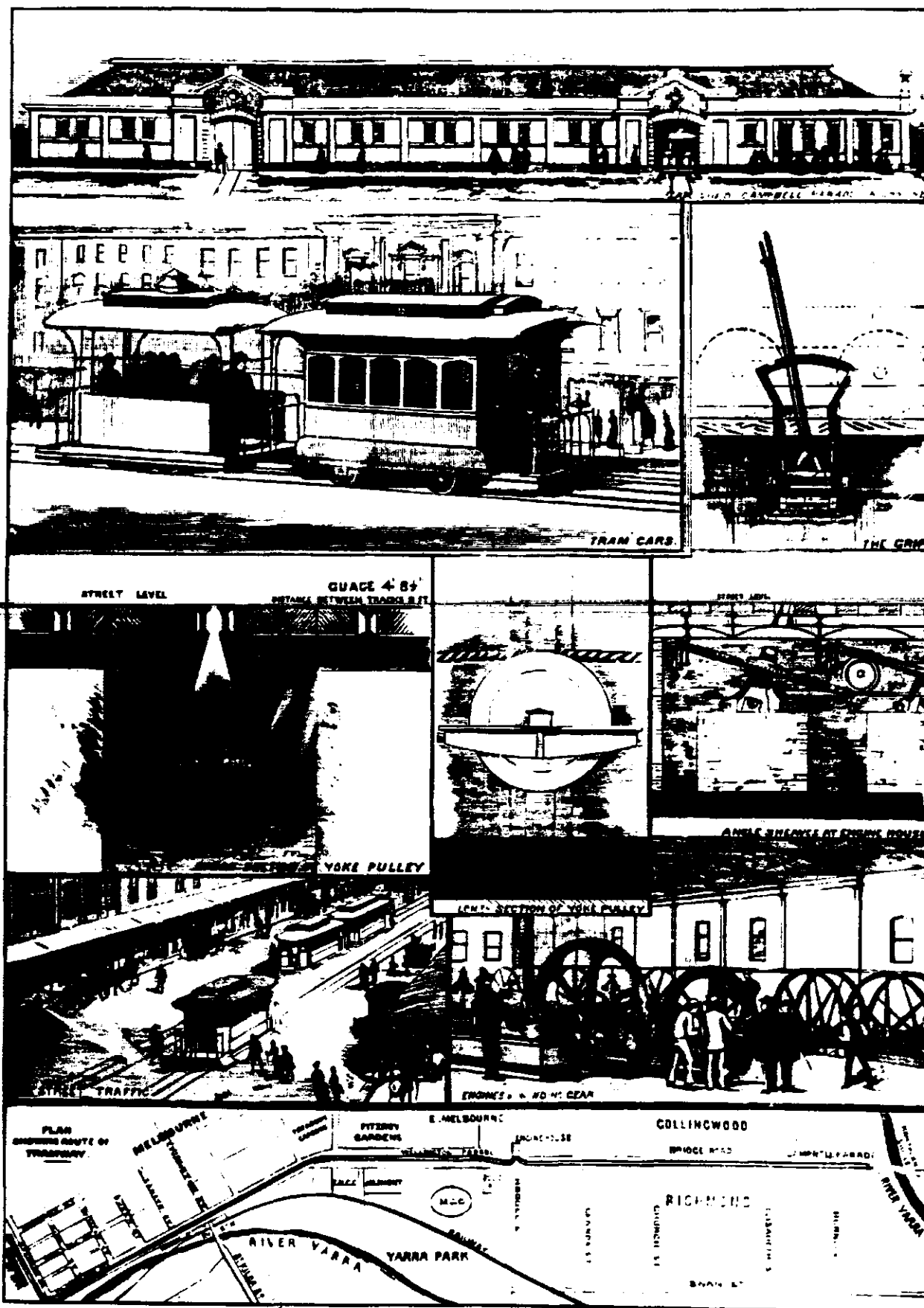
Statement of Significance

649 Bridge Road is significant as the first and the most intact cable tram depot in Melbourne.

References

National Trust file no. 4138.

Correspondence from Tramways Museum Society of Vic. to G.B.A.C., June 1983.



THE RICHMOND CABLE RAILWAY

Details of Bridge Road cable trams, c. 1885. Cable tram shed is shown at the top. (LaTrobe Library H36280 SPF).

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Church Street

BUILDING TITLE St. Ignatius' Church

TYPE Catholic Church
If not residence

EXISTING DESIGNATION HBR **NER** R/01/11 **NTC** FN.2025

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-20

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

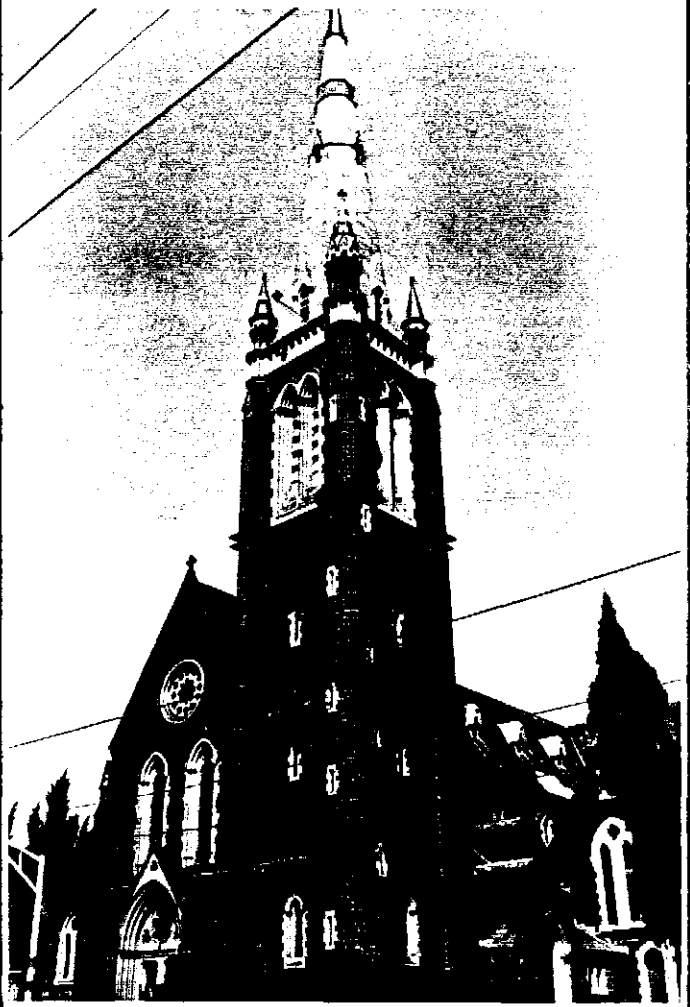
Walls Sandstone & Bluestone Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Contains an 1874 Fincham organ.

ST. IGNATIUS' CHURCH Church Street

History and Description

Designed in the Early French Gothic style of the 13th century, and constructed in stages between 1867 and 1894 in bluestone with Sydney freestone dressings. The architect was the talented William W. Wardell. The spire was added in 1927-28, the architect being G.W. Vanheems who was also the architect for the St. Patrick's spire in 1936-40, and who lived at 36 Lesney Street, Richmond.

The 1.5 acre site was purchased by the Jesuits in 1866. The Parish of Richmond at this time included not only Richmond but also Hawthorn, Kew, Camberwell, Nunawading and Mitcham. When completed in 1894, St. Ignatius was claimed to be the third largest Catholic church in Australia.

The stages for construction were:

1867	Foundation stone laid
1870	Opening of nave, aisles and part of tower
1885-88	Transept completed
1889-94	Chancel and apsidal chapels completed
1927-28	Spire completed.

Wardell (1823-99), at the peak of his career in London, emigrated in 1853 to Australia for reasons of health. He was one of the best qualified and most distinguished architects to come to Australia last century. He was appointed Inspecting Clerk of Works and Chief Architect in the Department of Works and Buildings in 1859, and promoted to Inspector-General for Public Works with the right of private practice in 1861. He was responsible for the construction of many major public buildings in Victoria, among them St. Patrick's cathedral and Government House. He was dismissed with other civil servants by the Victorian Government in 1878 and settled in Sydney. There he took W.L. Vernon as a partner in 1884 and practised with his son Herbert in the 1890's. He died in Sydney. Wardell's Gothic Revival works rank among the greatest buildings constructed anywhere in that style.

The builder of the transept was James Bonham who lived at 17 Elm Street, Richmond.

The interior of St. Ignatius has been insensitively adapted to the liturgical requirements of the second Vatican Council and many of the original fittings removed. The organ was built in 1874 and originally installed in the Melbourne Exhibition Buildings for the Colonial Exhibition of 1875. It was erected in St. Ignatius in 1876 and moved to its present location in 1897. It is one of the most significant early Fincham organs to survive in a relatively original state, notable features are the grained timber case incorporating diapered metal pipes and an elaborate English classical tonal scheme.

Statement of Significance

An outstanding example of Gothic Revival ecclesiastical architecture by William Wardell, and an important Melbourne landmark.

References

- Historic Environment, Vol. 3, No. 4, 1984, pp.20-33.
Trust News, Vol. 3, No. 4, 1984, pp.12-15.



Perspective View of St. Ignatius, 1889.
(Builder & Contractor News, 16th March, 1889.)

LALOR HOUSE
293 Church Street

History and Description

Constructed in 1888 for Dr. Joseph Lalor, son of the celebrated Eureka Stockade leader and politician Peter Lalor. The arcaded, two storey brick and stucco residence and surgery was designed by the important American born, classically trained architect William George Wolf (1855-1898). Wolf arrived in Australia in 1878 and lived and practised in Richmond until 1886. He designed many hotels, four of which were in Richmond, the most notable being the Council Club Hotel, Swan Street. He shot himself in 1898.

The boom style design of the Lalor house is characterised by an innovative exaggerated use of massive classical motifs, harsh tonality and exuberant ornament. It is rivalled only by 'Benvenuta', Carlton and 'Labassa', Caulfield, for period architectural importance in Victoria. Peter Lalor died at the house in 1889. The building remains intact and of high integrity externally.

Statement of Significance

293 Church Street is of exemplary period architectural importance because of its innovative exaggerated use of massive classical motifs and ornament.

References

Historic Buildings Council file.
Trethowan, Bruce, 'William Wolf' investigation project, Faculty of Architecture, University of Melbourne, 1974.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 360 Church Street

BUILDING TITLE St. Stephens Church

TYPE Anglican Church
If not residence

EXISTING DESIGNATION HBR **NER** R/01/09 NTC FN.2155

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-23

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

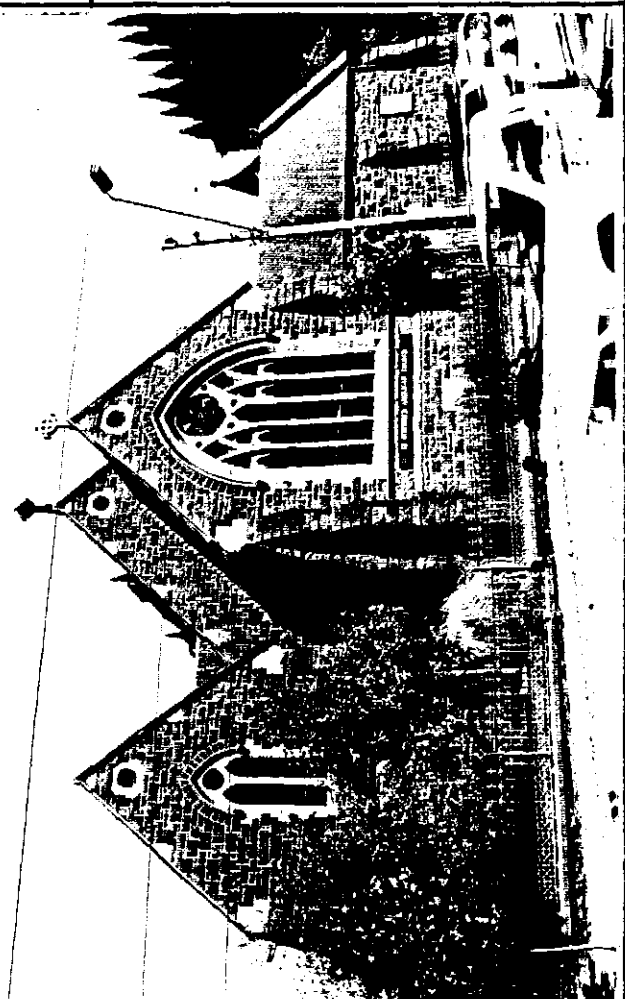
Walls sandstone Bluestone **Roof** Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Signs	R		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

ST. STEPHEN'S CHURCH
360 Church Street

History and Description

An austere Early English Gothic style church erected in 1850 on land donated by the pioneer cleric and squatter Ref. Joseph Docker. The architects were Blackburn and Newson, the builder Sims & Beaver. Later construction of galleries, side aisles, porches and chancels were undertaken between 1854-76 to the designs of James and Charles Webb, and Nathaniel Billings, the builder being David Mitchell.

It was the first church in Victoria built in bluestone, and one of the few churches in Melbourne with its ecclesiastical west door truly oriented. In 1869, a J.W. Walker organ, manufactured in London, was installed. It is believed to be the largest organ by this manufacturer remaining in Australia or England.

Internally the interior galleries have been removed and the church furniture rearranged.

Statement of Significance

The first church in Victoria built of bluestone, initially constructed during the difficult and inflationary gold-rush era, and an important work of architects Blackburn and Newson.

References

National Trust of Australia (Vic.) F.N. 2155.
National Estate Register citation.



West front, photographed pre 1863.
(La Trobe Library small picture collection.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 570 - 560 Church Street

BUILDING TITLE Bryant & May

TYPE
If not residence Factory

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 3.10.84 **NEG. FILE** 87-3,4

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

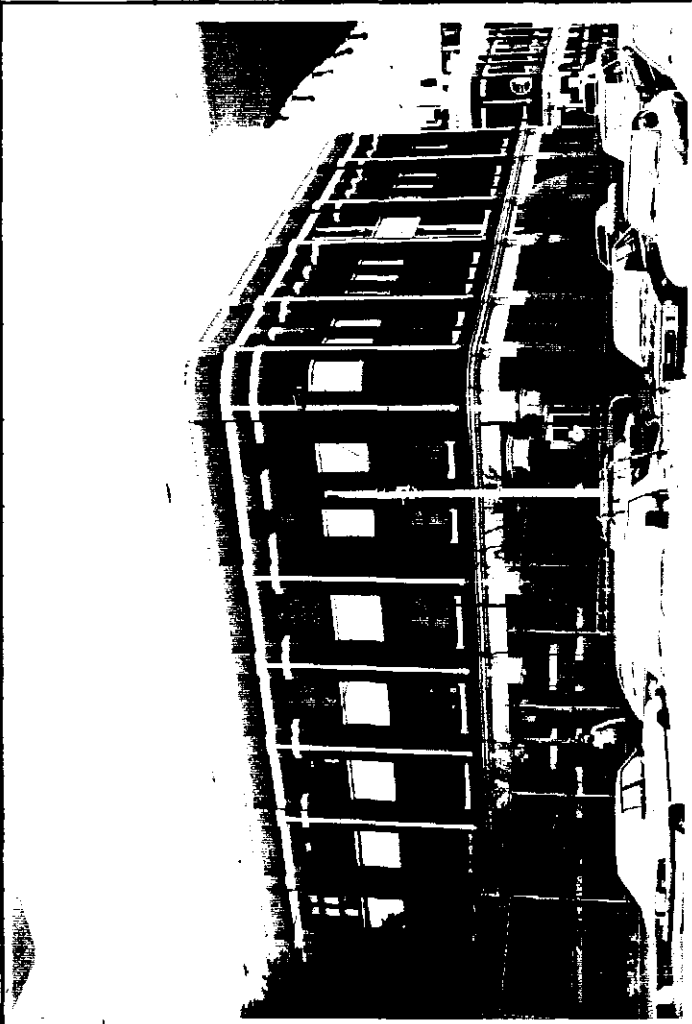
Walls Brick Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input checked="" type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations side & rear <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Spandrel panel mouldings <input checked="" type="checkbox"/>
original roof form & finish <input type="checkbox"/>	Chimney <input checked="" type="checkbox"/>
original chimneys <input type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Awning	0		
			Entrance Doors	0		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

BRYANT & MAY FACTORY
560-570 Church Street

History and Description

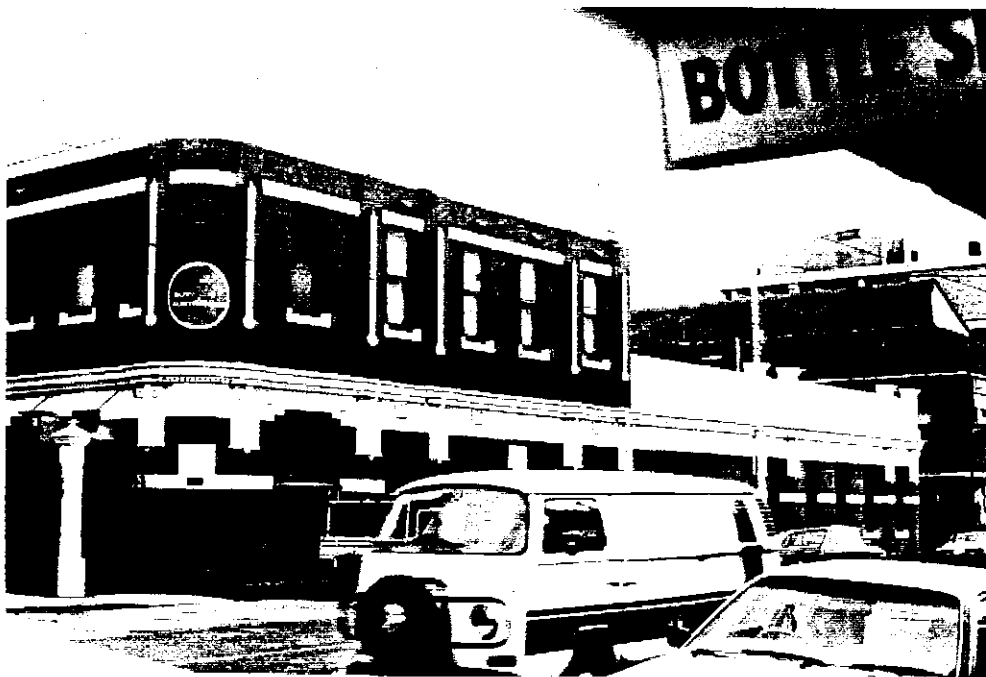
In 1909, in response to the Australian Government's protection policy, the London match manufacturers Bryant & May negotiated a merger with R. Bell & Co., who were producing matches in Church Street, Richmond. The new company Bryant & May, Bell & Co. Pty. Ltd. had Clements Langford construct the present factory on the Church Street site in 1909. The factory was extended in 1910; and kitchen, dining rooms and recreation rooms were added in 1917. The factory was further extended in 1921 and included a clock tower. A boiler house and chimney stack were added in 1922; tennis courts and basketball courts in 1923; and a bowling green in 1928. A second storey was added to the office block in 1934. The peak work force was 800 and it was regarded as a 'model' factory. The Art Nouveau motifs are a feature of the facade.

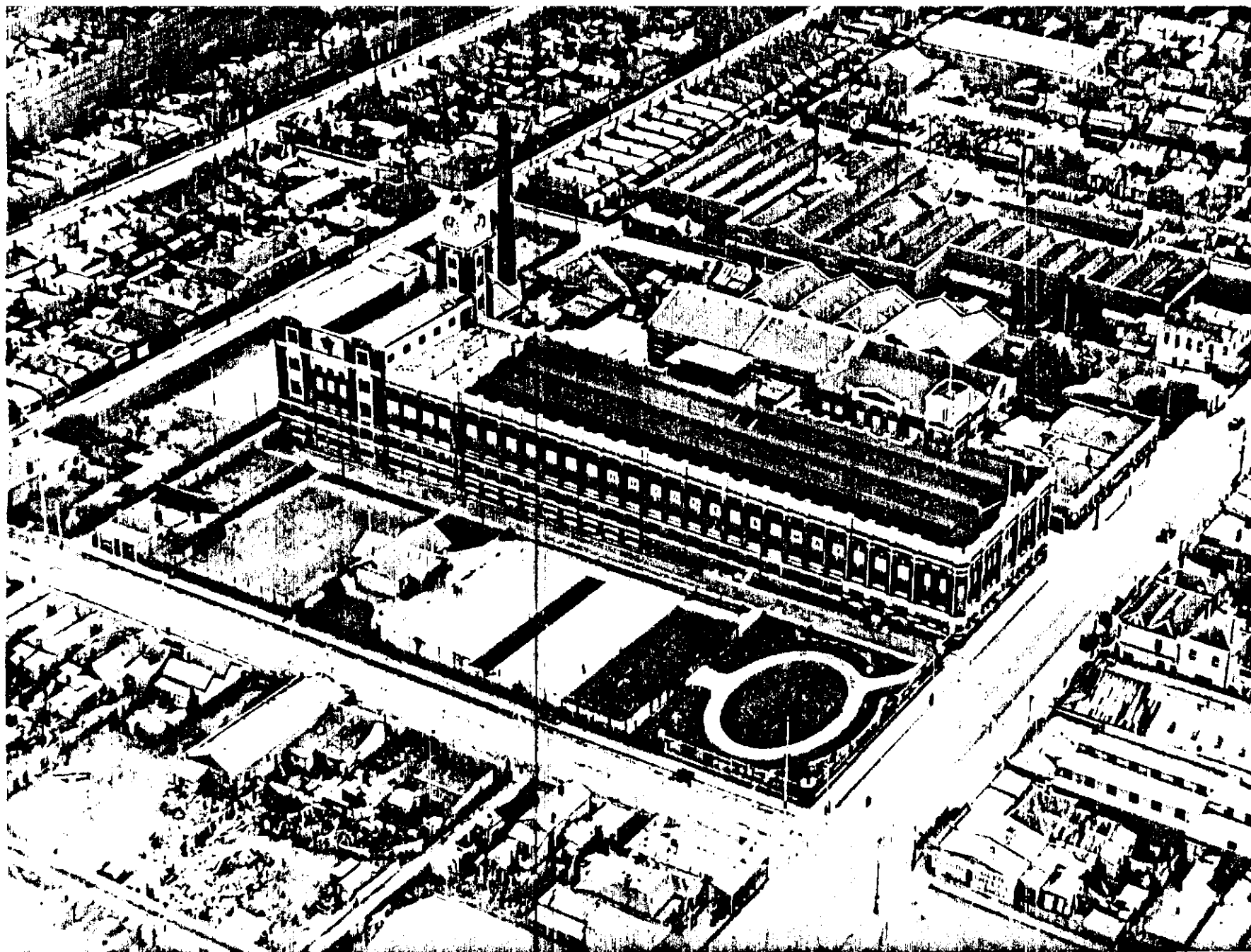
Statement of Significance

An Edwardian style factory and office complex with additions up to 1934, recreation facilities and garden, all of rare quality and integrity.

References

History of Bryant & May in Richmond. H.G. Bleakley, technical manager (unpublished manuscript).





Bryant & May looking north west, 1929. (LaTrobe Library).

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Davison Street

BUILDING TITLE Richmond North Primary School

TYPE
If not residence Primary School

EXISTING DESIGNATION GBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.10.84 **NEG. FILE** 111-17

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE 1888 **Source** Gable End

MATERIALS

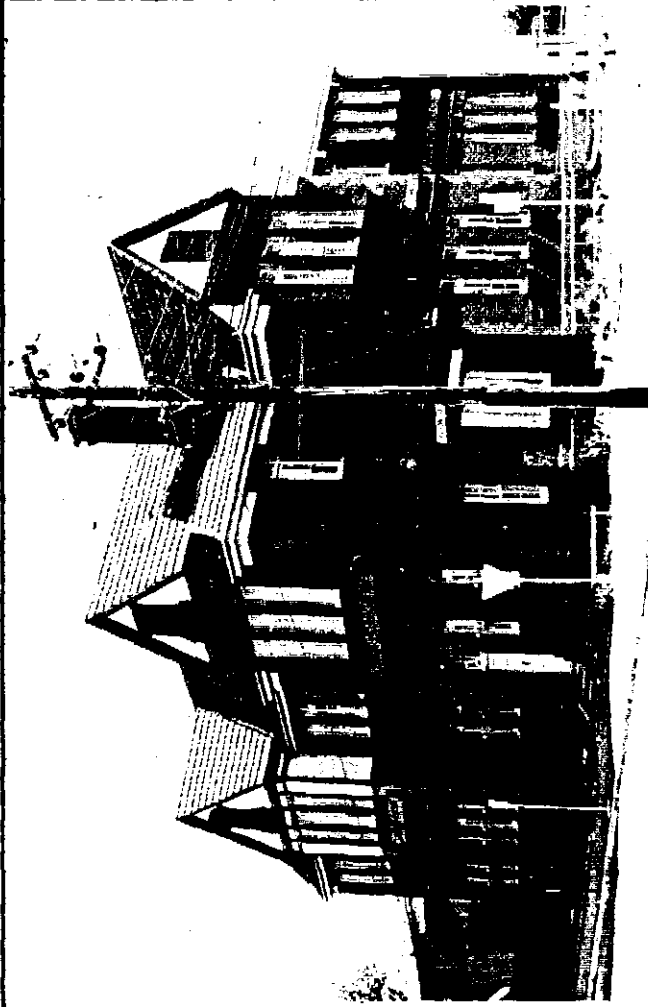
Walls Brick Roof Tile

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input checked="" type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Window Screens	R	Tile Roof	0

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RICHMOND NORTH PRIMARY SCHOOL
Davison Street

History and Description

The site was purchased in 1887 and the building erected in 1888. Additions were made at the rear in 1911 and 1912. Further additions were completed in 1981.

The building is a striking example of the English Queen Anne style with unusual terracotta faience, pebbled render finish within gables, and decorative use of brickwork.

Designed by the Department of Public Works, the layout and detailing is almost identical to the Toorak Central school. The design does not appear to have been repeated again.

The design has been attributed to Brightwen Binyon, the architect of the Sandford St. Boys School, Great Britain, the drawings of which were published in the Building News, on 9th December, 1881.

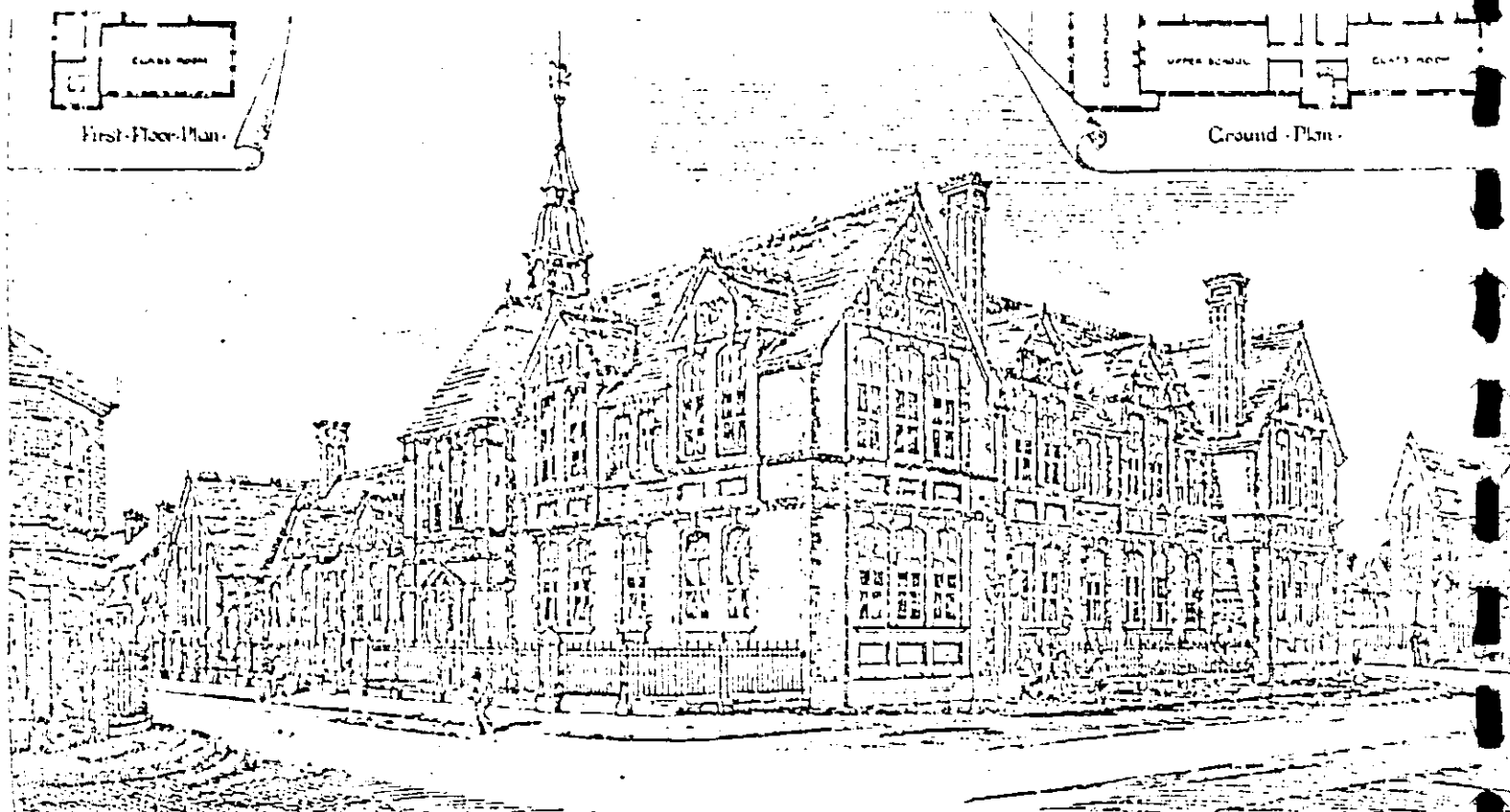
Tiles have replaced the original roof slates and terracotta ridge cresting. A weathervaned bellcote has also been removed.

Statement of Significance

An exceptional example of English Queen Anne style school architecture.

References

Government Buildings Register.
Burchell, L., Victorian Schools, M.U.P. 1980, pp.155-8.



Sanford Street Boys School, Swindon, Great Britain, 1881.
(Burchell, L. Victorian Schools, M.U.P., 1980 p.157.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 3 Elm Grove

BUILDING TITLE

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC FN.2398

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 5.7.84 NEG. FILE 34-6

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

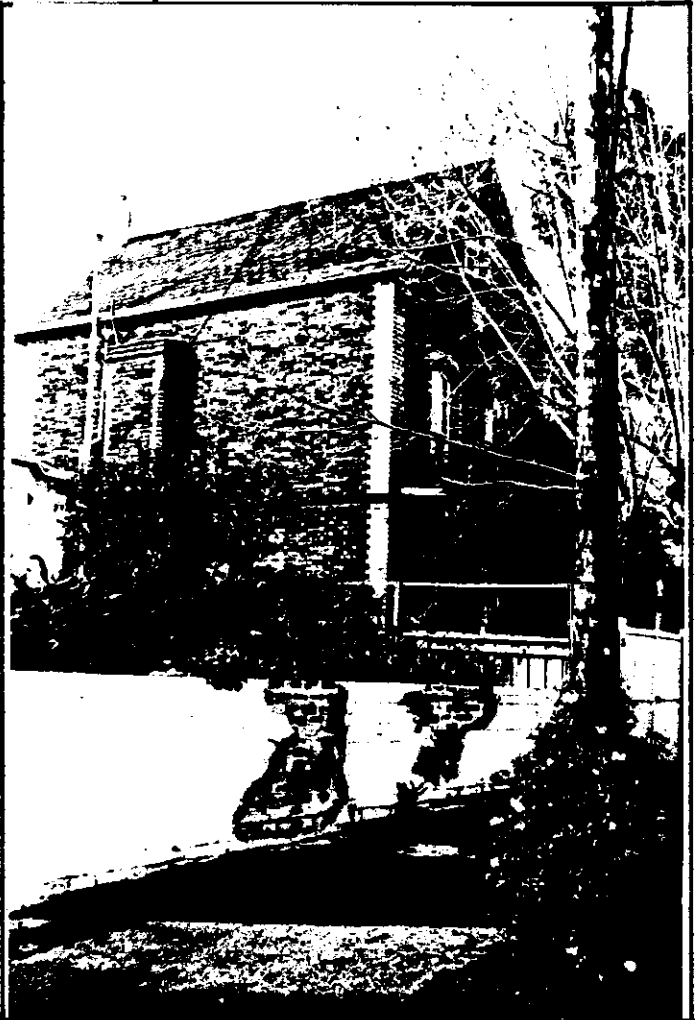
Walls Brick Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	Rear Bldg. <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Fence	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
3 Elm Grove

History and Description

Built c. 1868 by and for Richmond builder and timber merchant Richard Fitzgerald. A brick out-building may have been an earlier house dating from 1852 when Fitzgerald purchased the allotment at the Elm Grove subdivision sale.

In 1854 Fitzgerald built the first Roman Catholic church in Richmond in Bridge Road. His timber yard was located at the corner of Swan and Green Streets where Dimmey's Stores now stand.

He was a member of the Richmond Council for a number of years, and was instrumental in achieving the long awaited extension of Swan Street through the Survey Paddock to Hawthorn. He also formed part of the committee set up to effect the Swan Street railway overpass. The house is an early example of polychromatic brickwork and is designed in an individual Victorian Gothic style. Internally there is an unusual brick fireplace, a well under the hall floor, a panelled ceiling in the drawing room and interesting timber carvings on the doors and fireplaces.

Statement of Significance

A most unusual three storey Victorian Gothic residence in polychromatic brickwork.

References

National Trust of Australia (Vic.) F.N. 2398.

White, J.U. Early Residents and Property Owners of Richmond p. 5.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 15 Erin Street

BUILDING TITLE TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 11.7.84 NEG. FILE 103-3
30-6

PERIOD
Early Victorian Edwardian
Victorian
Late Victorian

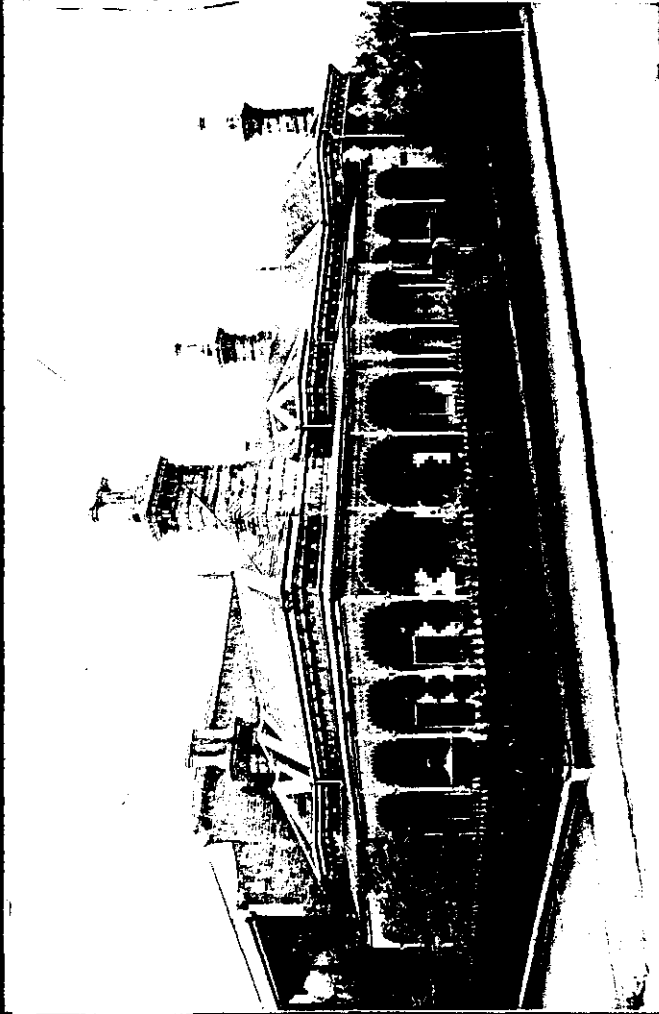
CONSTRUCTION DATE Source

MATERIALS
Walls Polychromatic Brick Roof Slate

FORM
Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input checked="" type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	Verandah & Path Tiles <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Main Door	S		
			Window Grilles	R		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
15 Erin Street

History and Description

Constructed in 1873 for merchant Edward Priestley on an allotment created by a subdivision from William Highett's Crown allotment in 1872. Priestley did not live in the house until 1888, leasing it to Edward Moflin (traveller) from 1874-80, Edward Hamilton (barrister) 1881-84 and John Winn 1885-87 (former mayor of Richmond).

The house is an early and particularly fine example of polychromatic brickwork, with unusual banding on the chimneys and an extensive cast iron fence. It has excellent integrity.

Statement of Significance

An early and exemplary example of a Victorian polychrome brick villa.

References

Richmond Council ratebooks.
Subdivision Plan by Thomas Adair, 12th March, 1872, LaTrobe Library.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 29 Erin Street

BUILDING TITLE Elim (Formerly Yooralbyn)

TYPE Salvation Army Hospital
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 11.7.84 **NEG. FILE** 30-2
103-2

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

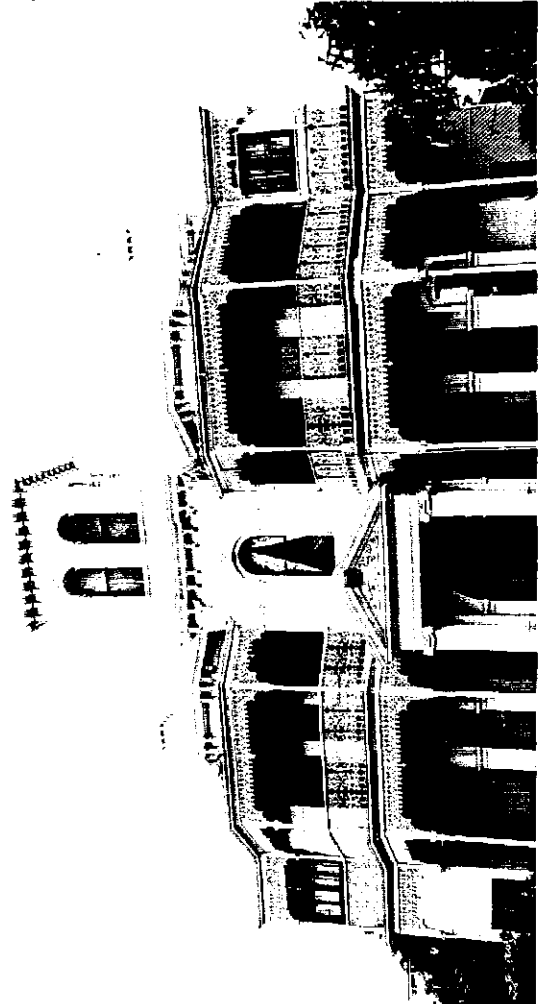
Walls Cement Render Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early remnants garden <input checked="" type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Built-in Verandahs	0
			Fence	0/S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

ELIM
29 Erin Street

History and Description

29 Erin Street was cut off William Highbett's Crown allotment, and a pair of semi-detached houses erected on it prior to 1855. One of the houses of eight rooms was owned by Rev. Dr. Adam Cairns, a pioneer Presbyterian minister; the other of ten rooms was owned by a Mrs. Broadfoot. William Muir purchased the latter house in 1862.

In 1870 Cairn's house was leased by his grandson William Harper, a director of Robert Harper and Company, merchants and manufacturers. In 1889, William Harper demolished the Cairns and Muir residences and erected 'Yooralbyn', an Italianate mansion with an elaborate stair hall. It retains its original allotment size and remnants of early garden planting.

The property was renamed 'Elim' when purchased by the Salvation Army. The elaborate timber picket front fence has been removed.

Statement of Significance

The only intact mansion estate remaining from 19th century Richmond.

References

Richmond Council ratebooks.
Subdivision maps of Erin Street, LaTrobe Library.
Victorian and its Metropolis, Vol. 2, 1888.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 171 Hoddle Street

BUILDING TITLE Urbrae

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 11.7.84 **NEG. FILE** 103-4
30-15

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

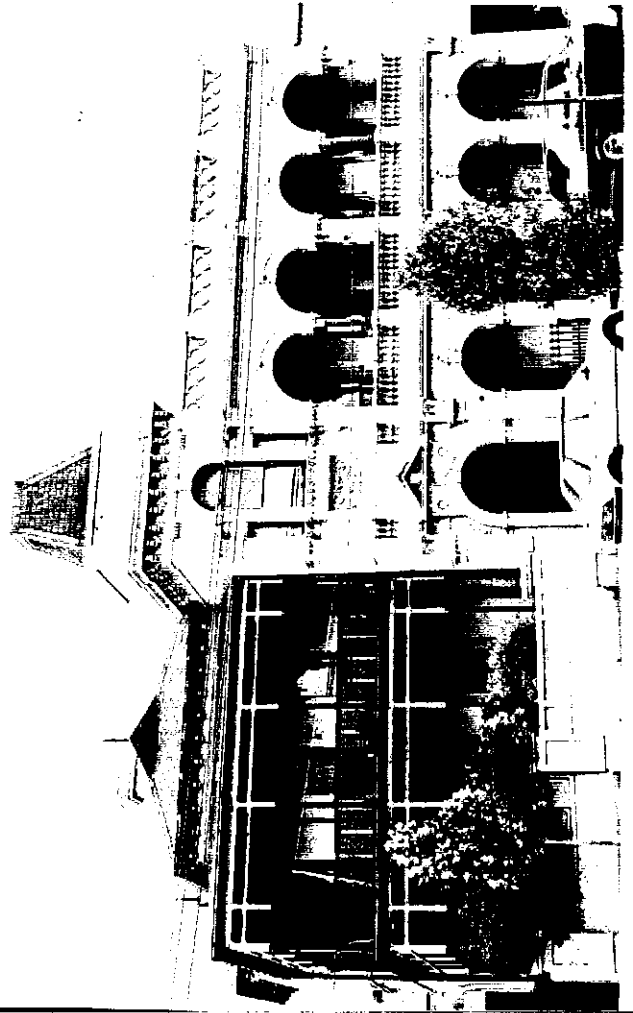
Walls Cement Render Roof Slate

FORM

Attached Semi Detached Pair

SIGNIFICANT FEATURES

early paint colour scheme <input checked="" type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations (side) <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Verandah tiles <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	Stained Glass Door surround <input checked="" type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Flats in Garden on North side	R

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Flats on north side were added in 1937 and are on the same title as the house

RESIDENCE
171 Hoddle Street

History and Description

This area was subdivided from William Highett's 1839 Crown grant in 1881. Three allotments were purchased by Jas. P. Lind photographer who combined them to form the present site and erected a 2-storey single fronted house.

Drs. Thomas, James & William Boyd purchased the property in 1898. Thomas Boyd was the government vaccinator while William was an eminent pathologist who solved the Threadneedle poisoning cases.

By 1901, the existing pair of semi-detached houses had been established. The original house was converted into a double fronted 2-storey arcaded residence and attached to a 2-storey house with return verandahs and a tower over the entrance.

The arcaded Italian Renaissance derived style of the facade is possibly the work of Richmond architect J.A.B. Koch (e.g. Koch's own house at 377 Church Street and his additions to Labassa, Caulfield).

The pair of houses have excellent external integrity, while an early decorative scheme remains in the entrance hall to the left hand house. William Boyd lived here until his death in 1935. Unfortunately, a block of flats was built in the side garden in 1937.

Statement of Significance

A highly intact and innovatively composed pair of semi-detached houses.

References

Sands McDougall directories.
M.M.B.W. maps of Richmond, 1898.
M.M.B.W. drainage plan, 1901.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 207 Lennox Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 25.7.84

NEG. FILE 18-29

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Brick

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

Gate

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Painted Brickwork	RAM
					Fence	S
					Verandah infills	R

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

RESIDENCE
207 Lennox Street

History and Description

The first documentary evidence of this residential building was in 1855, when the building was recorded on the Magee Municipal Map of Richmond. However, early ownership of the building was traced to 1861, when the building was occupied by Frederick William Heinecke, a wholesale and retail tobacconist. Prior to this time, the only recorded locations for Heinecke were business addresses within the Melbourne commercial district. Early ownership of the building was varied, as the property changed hands several times. Cornelius Ham occupied the building between c. 1870-76, followed by William A. Douglas, Harrington E. Wade, and then Robert Robinson in the mid 1880's.

Architect William Salway was a notable occupant of the building, commencing his association in 1887. In 1896, the building is shown on the Richmond Board of Works plan. The property at this time had comprised the main brick dwelling, and four outbuildings. A pathway led from the corner of the property, around the perimeter of the residence.

The building is symmetrically composed with a central gable roof bisected by two identical bay projections, in turn bisected by first floor gablets. The main entrance is formed between the gable ends and is recessed beneath a porch form. A shaped gable with finial defines the building entrance.

The unusual massing of gable roofs on the rectangular plan is attractively conceived. Of particular significance is the early use of projecting gable forms.

The building maintains its original approach through an elaborate timber gateway, and several garden elements remain, including a fountain.

Statement of Significance

This brick building is the only surviving villa residence in Richmond of the 1850 period, representing the early settlement of the suburb as a gentleman's retreat from the business district of Melbourne. The massing and arrangement of architectural elements is most unusual on such an early building. Also of significance is the corner gateway, evidence of early garden layout, and surviving elements.

References

Magee, John Steel. Municipal Map of Richmond, 1855.
Sands & McDougall. Melbourne Directory. 1861-87.
M.M.B.W. Plan of Richmond, 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 36 Lesney Street

BUILDING TITLE

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC F.4966

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 15.8.84 NEG. FILE 70-16

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

Walls Weatherboard Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	Flat iron Ver. roof <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	Original Shutters <input checked="" type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
	Fence					
	Garden					

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Early Magnolia Grandiflora.
 Rare flat timber columns.
 Stable at rear.

RESIDENCE
36 Lesney Street

History and Description

The Crown Grantee was John Robert Murphy in 1849, who after a subdivision sold no. 36 Lesney Street to Frederick Grunberg, cabinetmaker, in 1852. The house and stable are shown on the 1855 Magee survey map of Richmond. In 1883 Henry Vanheems, photographer, purchased the property. An 1895 M.M.B.W. plan shows the house with a projecting room added to the front, a bay window added to the side and the rear extended to the stables. A geometric garden and conservatory are also evident. The Vanheems occupied the house until the 1960's. G.W. Vanheems, who was listed as living in the house in 1913, was the architect for the central tower and spires for St. Patrick's Cathedral, Melbourne, and St. Ignatius' Church, Richmond. The shiplap or chamfered weatherboards suggest that the building was an imported one. The flat iron verandah roofing, if original, is a rare survivor. As the building has been recently renovated it is difficult to assess its integrity.

Statement of Significance

A relatively intact early 1850's timber house, possibly prefabricated.

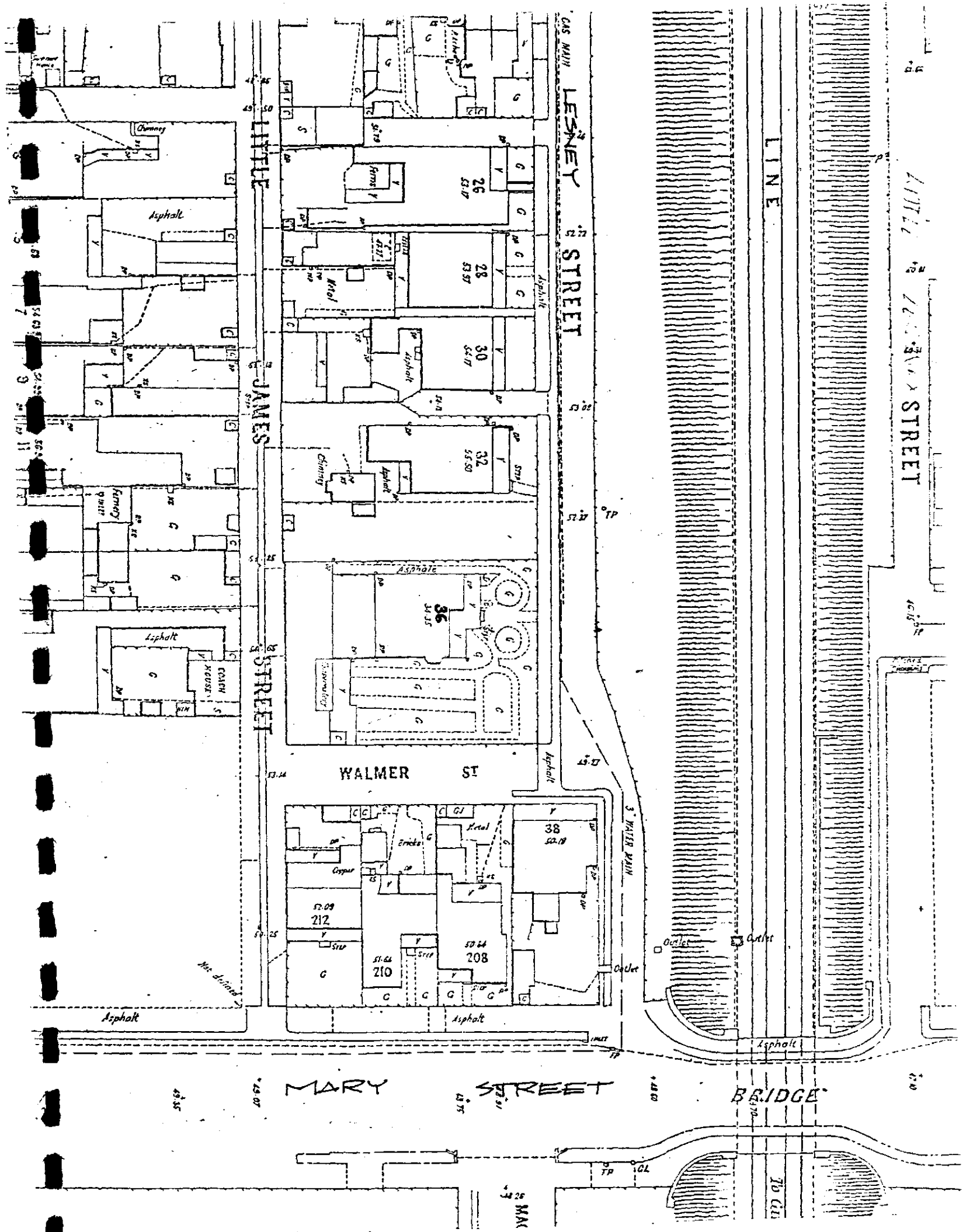
References

Parish Map.

Lands Department 1855 map of Richmond by John Steel Magee.

M.M.B.W. Map of Richmond, 1896.

National Trust of Australia (Vic.) F.N. 4966.



36 Lesney Street, 1896 M.M.B.W. plan

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Oddys Lane

BUILDING TITLE Former Melbourne Electric Supply Company Ltd.

TYPE S.E.C. Workshops
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 3.10.84 **NEG. FILE** 91-9,10

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE Source

MATERIALS

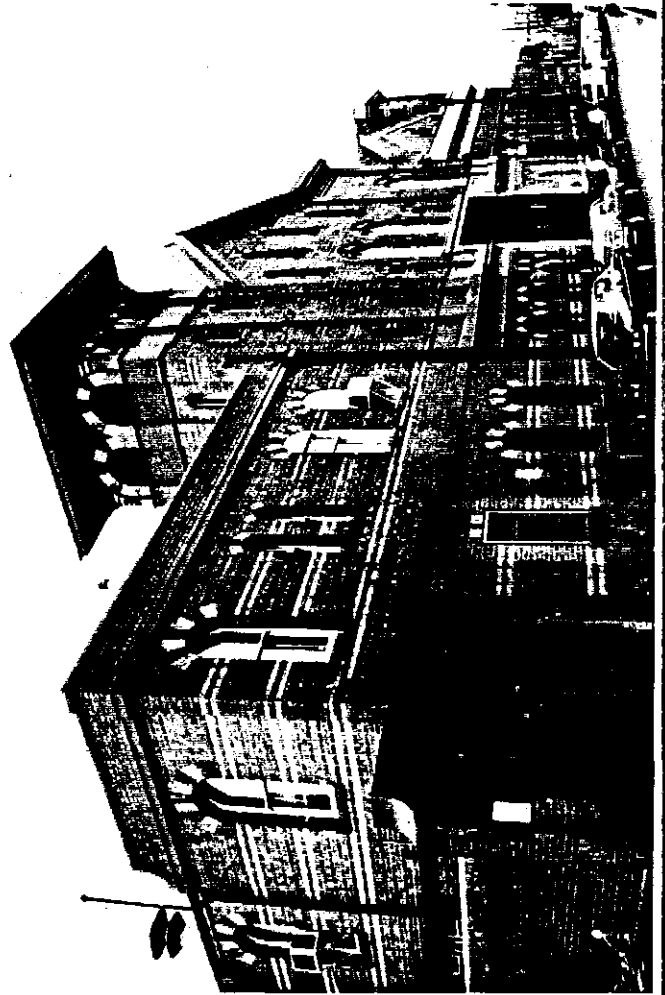
Walls Polychromatic Brick Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations rear, side <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Window air-conditioner	R	Bricked-up Windows	0
					Vehicle Doorway	0

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER MELBOURNE ELECTRIC SUPPLY CO. POWER STATION Oddy's Lane

History and Description

In 1886 the development of alternating current made it possible to transmit electrical energy over considerable distances so that it was no longer necessary to have the dynamo within a few hundred metres of the consumer. With the Melbourne City council planning to enter the electricity supply business, the Australian Electrical Co. Ltd. which had operated for some years in Russell Place, decided to move to Oddy's Lane, Richmond.

Renamed the New Australian Electric Lighting Co., the company erected a new power station to the design of architect Henry B. Gibbs which began operating in 1890. It supplied the southern part of Richmond, Prahran and South Melbourne. Its competitor was A.U. Alcock's Electric Light and Motive Power Company which had moved from Melbourne to Neptune Street, Richmond, in 1891.

In 1899 these two companies were taken over and were combined to form the Electric Light and Traction Co. of Australia in 1901. The new company increased the height of the engine house at Oddy's Lane and in 1908 it was renamed the Melbourne Electric Supply Co. In 1913 the engine room was extended to the east and a new chimney stack was built. A second chimney stack was erected in 1919 and a second floor was added to the office block in 1922.

The S.E.C. took over the power station in 1930 and new oil fired plant was installed in 1951. Power generation ceased in 1976 and the chimney stacks were demolished.

The facade of the building is substantially intact, the major defacements being the bricked up windows and relocation of the vehicle entrance door on the engine house. The sign has also been removed.

Statement of Significance

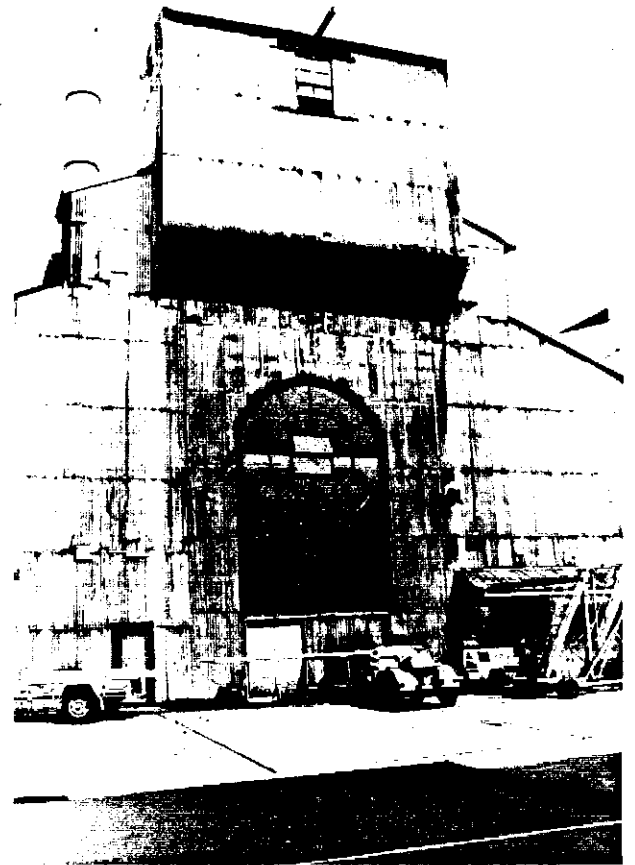
A rare example of a late Victorian industrial building designed with an Italian Romanesque facade and associated with Melbourne's earliest electricity supply.

References

The Story of Richmond Power Station, unpublished notes held by the S.E.C.
Building and Engineering Journal, 20.12.1890, p.455.



Tower, photo 1984.



Rear, photo 1984.



Front Elevation c. 1913.
(The Story of Richmond Power Station, unpublished notes held by the S.E.C.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 92 Swan Street	
BUILDING TITLE Post Office Museum	TYPE Former South Richmond Post If not residence & Telegraph Office
EXISTING DESIGNATION HBR <input type="checkbox"/> NER <input type="checkbox"/> NTC <input type="checkbox"/>	
GRADING A <input checked="" type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/>	
STREETScape 1 <input type="checkbox"/> 2 <input checked="" type="checkbox"/> 3 <input type="checkbox"/>	CONSERVATION AREA <input checked="" type="checkbox"/>

SURVEY DATE 15.8.84	NEG. FILE 103-19 71-4
----------------------------	---------------------------------

PERIOD

Early Victorian <input type="checkbox"/>	Edwardian <input checked="" type="checkbox"/>
Victorian <input type="checkbox"/>	<input type="checkbox"/>
Late Victorian <input type="checkbox"/>	

CONSTRUCTION DATE _____ **Source** _____

MATERIALS

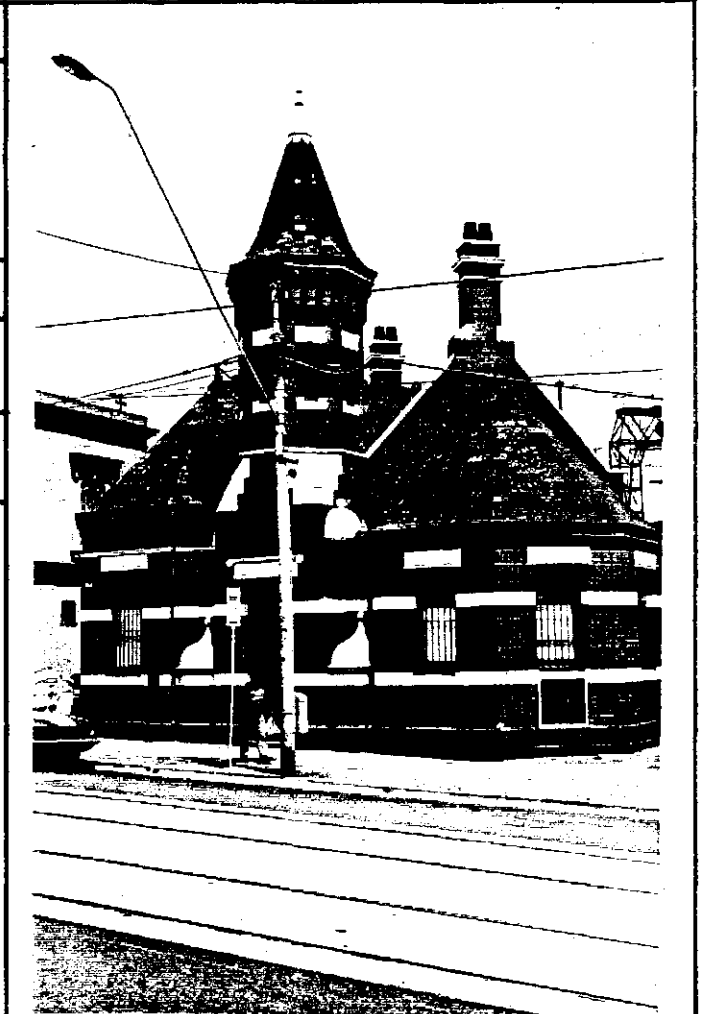
Walls Brick Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER SOUTH RICHMOND POST & TELEGRAPH OFFICE
92 Swan Street

History and Description

Erected in 1905 by builders McConnell & McIntosh of North Melbourne to the design of architect J.B. Cohen.

The triangular site was previously occupied by a railways signal box. The building has been cleverly designed to fit the site and it is a highly individual piece of Edwardian architecture. It remains intact except that the sign over the front door has been removed.

Statement of Significance

A uniquely composed Edwardian building and one of the few 20th century post offices with a tower.

References

Australia Post public relations department.
Richmond City Council Builders & Owners Index.



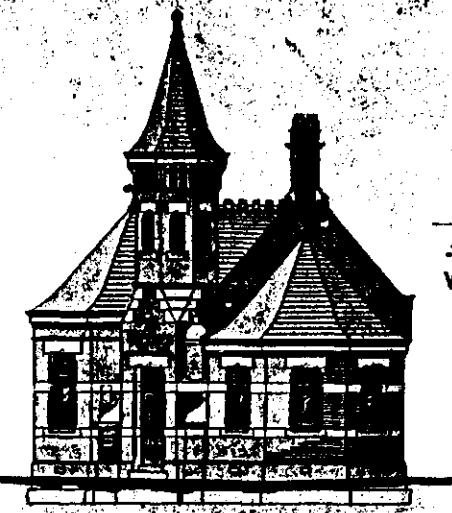
POST & TELEGRAPH OFFICE

SOUTH RICHMOND.

SHEET 1



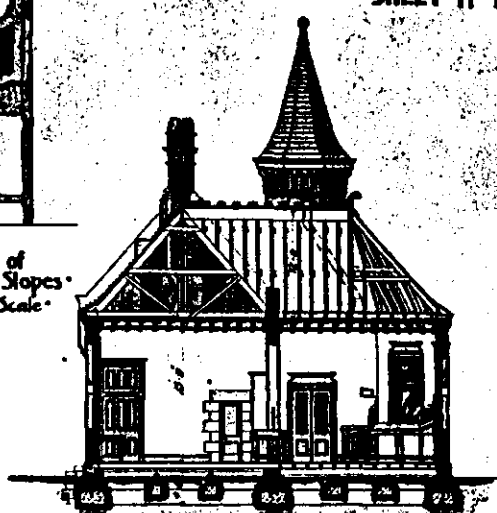
Elevation to Angle



NW Elevation



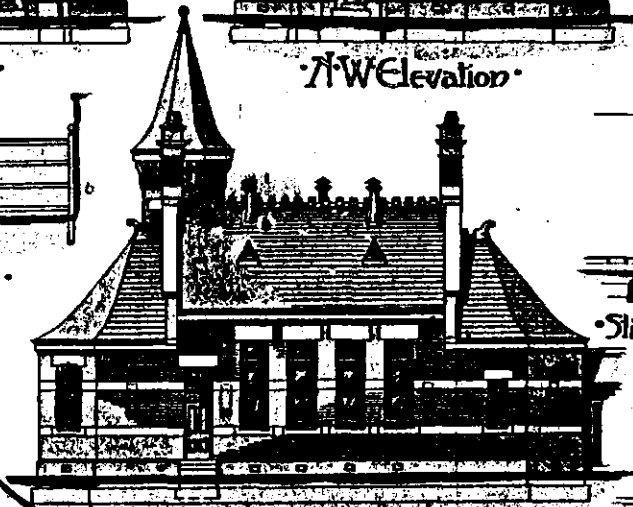
Detail of Writing Slopes
1/2 Inch Scale



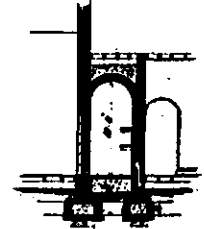
Section A-B



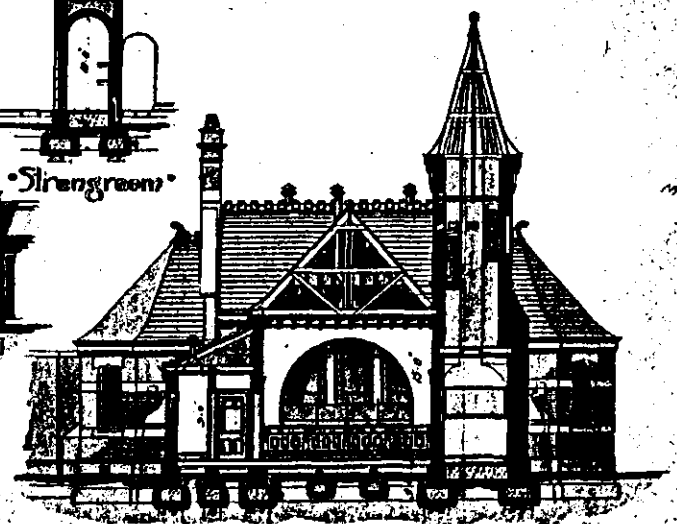
Outhouses



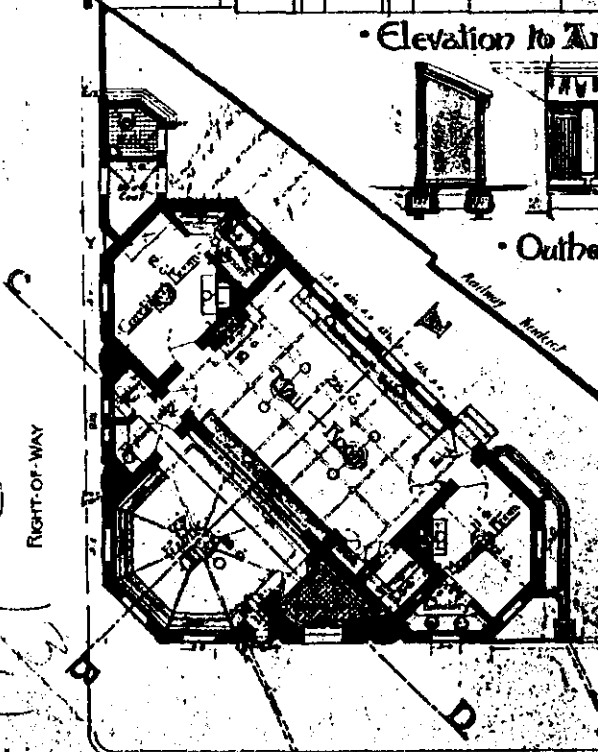
Back Elevation



Strongroom



Section C-D



Plan



Elevation of Fence

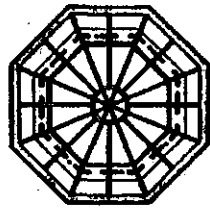
Scale 8 Feet to 1 Inch

THIS IS ONE OF THE DRAWINGS REFERRED TO IN MY CONTRACT ENTERED INTO THIS DAY FOR ABOVE
DRAWING & SPECIFICATIONS
WITNESSES
[Signatures]

R 104

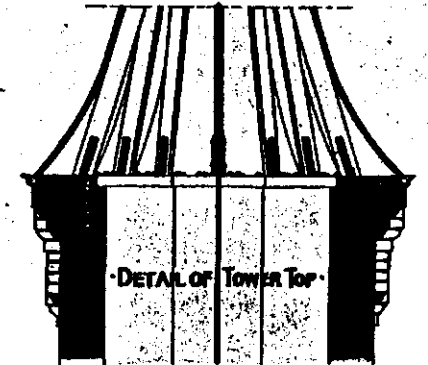
Post & TELEGRAPH OFFICE • SOUTH • RICHMOND •

404.5
365
1/485



PLAN OF TOWER ROOF
1/4 SCALE

Section AB



DETAIL OF TOWER TOP

Section C-D

Section
THRU DOOR

PLAN OF TOWER FLOOR
1/4 SCALE

POST
&
TELEGRAPH
OFFICE

PART FRONT ELEVATION

SCALE 2 FEET TO 1 INCH

PLAN AND DETAILS
OF ENTRANCE PORCH

THIS IS ONE OF THE DRAWINGS REFERRED TO IN MY
CONTRACT ENTERED INTO THIS CITY FOR ABOVE
WORKS.

WEDNESDAY, 2nd November 1903
at the Town Hall, Sydney
WITNESSES
S. Jones

215
R 105
10/11/03

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 12 Union Street

BUILDING TITLE

TYPE
If not residence

EXISTING DESIGNATION

HBR

NER

R/01/05 NTC

FN. 3273

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 22/11/84

NEG. FILE 108-9, 13

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Bluestone

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
12 Union Street

History and Description

Erected c. 1858-9 for pioneer Melbourne surgeon James Robertson on part of a subdivision from Farquhar McCrae's Crown grant, financed by the Union Benefit Building and Investment Society. The unusual and naive classical revival design of rock faced basalt walls, fine axed stone quoins enhanced with elaborate corinthian pilasters, pedimented gables and lofty tower is of unknown origin. The use of flat corinthian pilasters to frame the windows is intriguing.

It is one of the oldest surviving stone houses in Richmond and it dominated the Punt Road area until the 1880's.

Statement of Significance

An innovative, original classical revival design without parallel in Victoria.

References

National Estate Register citation.
National Trust of Australia (Vic.) F.N. 3273.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Rear 42 Waltham Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

FN. 5365

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 1.12.84

NEG. FILE 105-8,9

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Ruled Render

Roof

Iron

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM	Side Additions	R
			Porch	0	Rear Additions	R
					Flats in Front	R

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

RESIDENCE
Rear 42 Waltham Street

History and Description

Built prior to 1855, this brick house was owned and occupied by the distinguished architect James Blackburn Jnr. until 1859. He sold it in 1863. It comprised five rooms, kitchen, stables and garden. Blackburn came to Victoria from Tasmania with his parents in 1849 aged 20 years, at which time he took over his father's architectural practice. He died in 1888. It is a very early Italianate design with bold timber eaves brackets, ruled stucco walls, tripartite windows and glazing bars to all sashes. The sashes with arched margin bars and the bay window are particularly interesting. The design has many similarities with Bishops court, East Melbourne, designed by Blackburn and Newson in 1853.

The portico parapet has been altered and its columns appear to be concrete sewerage pipes. A lean-to has been added to the south side of the house and a block of flats built in the front garden. The interior has been altered to accommodate three flats.

Blackburn's mother lived next door at 44 Waltham Street, now demolished. His father James Blackburn Snr. was also an important architect who as City Surveyor was instrumental in the establishment of the Yan Yean reservoir, and who died of typhoid in 1853.

Blackburn and Newson also designed St. Stephen's Church, Richmond in 1850.

Statement of Significance

One of the earliest Italianate buildings in Victoria and most probably designed by James Blackburn Jnr.

References

Historic Environment Vol. 2, No. 1, 1982 pp. 17-28.
National Trust of Australia (Vic.) F.N. 5365.
Magee map, 1855.



8.0 B BUILDINGS

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Bendigo Street

BUILDING TITLE Former Wertheim Piano Factory

TYPE GTV 9 Studios
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 25.6.84 **NEG. FILE** 6-32,33

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

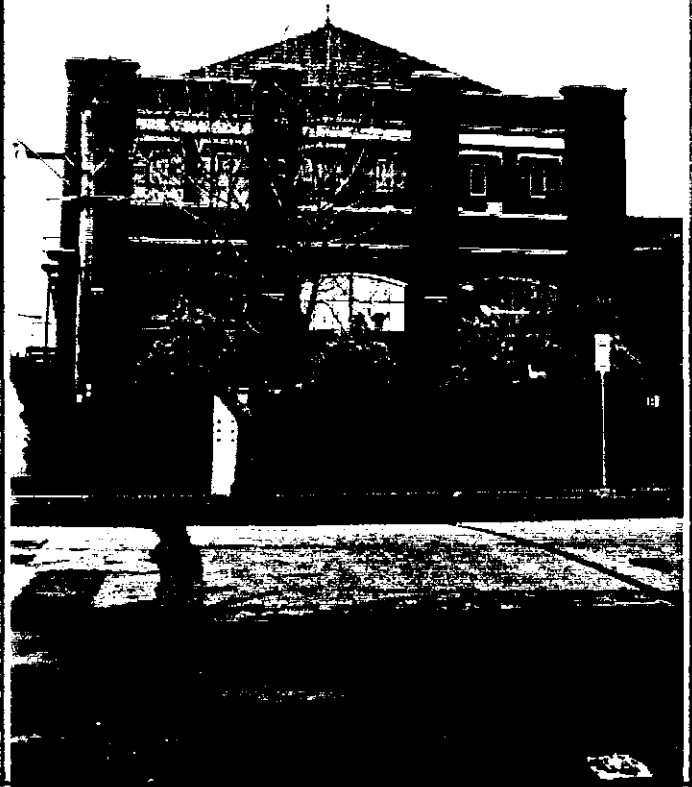
Walls Brick Roof T.C. Tile

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER WERTHEIM PIANO FACTORY Bendigo Street

History and Description

Constructed in 1909 to the design of architect Nahum Barnet. The builder was R. McDonald. The owner was Hugo Wertheim who after a study of European and American factories decided to have the factory area on one floor with only offices on the first floor, a somewhat new concept for large factories in Australia. The site covered four acres and a tramway system was laid through the building and to the timber stores at the rear. The floor area was 50,000 square feet. The factory was capable of producing 2,000 pianos a year.

Practically every part of a piano was made in the factory, and for this purpose iron and brass foundaries, timber seasoning racks, wood working equipment, cabinet making, french polishing and sounding board facilities were provided. The factory generated its own power and it was heated by hot air pipes. Lavatories, luncheon rooms and smokers pavilions were built for employees. Fire proof divisions and steel doors were provided for fire isolation and a new type of dampcourse was laid in the walls.

Some of the staff had been trained in the leading European piano factories, and the pianos were claimed to compare favourably with any in the world.

Statement of Significance

A remarkably intact Edwardian factory building, formerly the largest piano factory in Australia, designed by the important architect Nahum Barnet.

References

Table Talk, 29th November 1908 p. 10.



HUGO WERTHEIM

CENTRAL SHOWROOMS
294-296
BOURKE STREET.

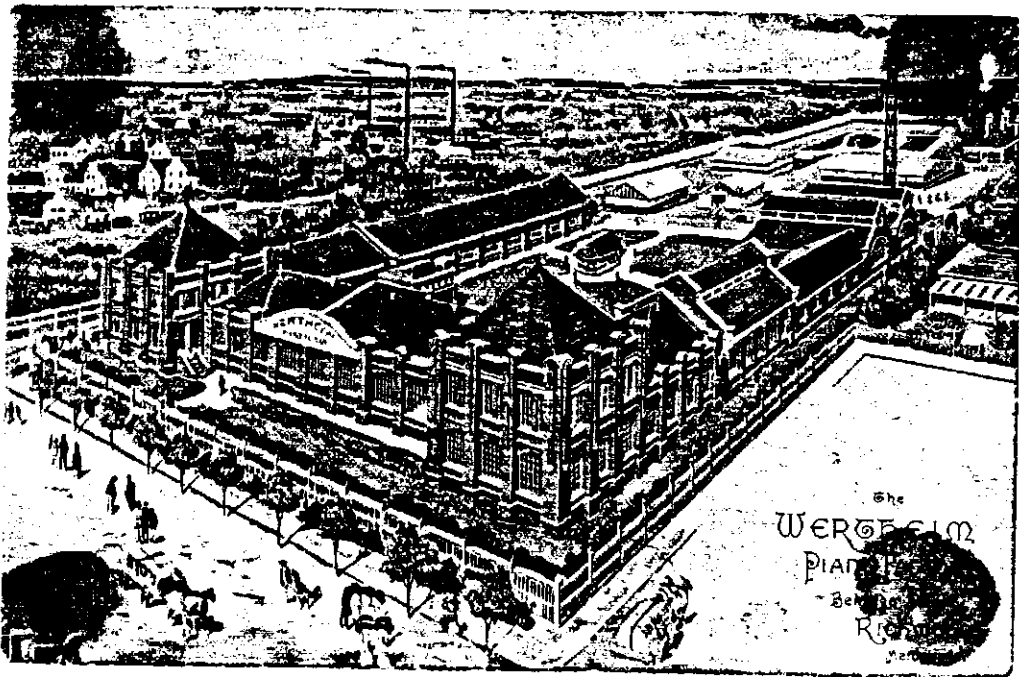
THE WERTHEIM PIANO FACTORY
RICHMOND NEAR MELBOURNE.

THE WERTHEIM SEWING MACHINE FACTORY

HEAD OFFICES & WAREHOUSE
171-173, WILLIAM STREET

Wertheim

Wertheim Piano Factory, undated.
(La Trobe Library picture collection.)



Wertheim Piano Factory, undated.
(La Trobe Library picture collection.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 6 Bosisto Street,

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

FN.5104

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 17.7.84

NEG. FILE 60-4

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Bluestone

Roof Iron

FORM

Attached

Semi

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys

INTEGRITY RATING

excellent

good

fair

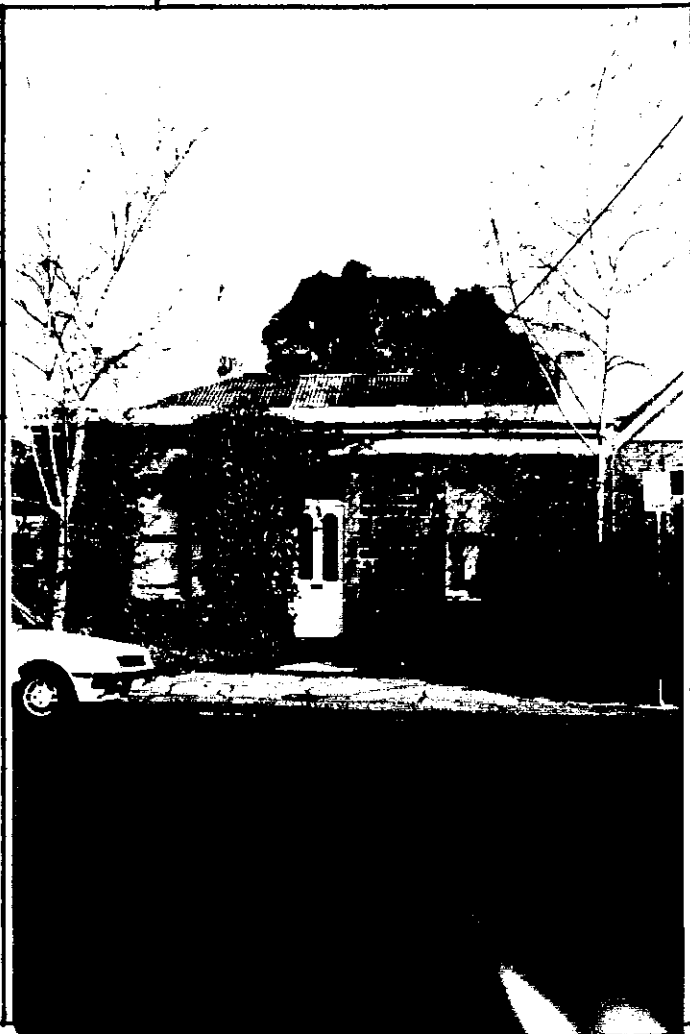
poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Parapet	RAM	Verandah Removal	S
			Fence Removal	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS



RESIDENCE
6 Bosisto Street

History and Description

This cottage was erected in 1858. The original owner was John Pollock, a stonemason, and the building was occupied by the Pollock family until the late 1880's. By 1893, although still registered to Pollock, the building was leased to boilermaker, Harry Hammond.

The bluestone cottage was originally constructed with two rooms, but was extended to a four room brick and bluestone dwelling by 1863. The cottage is symmetrically proportioned with a central doorway flanked by windows at either side. The openings are articulated by quoining. The building maintains a substantially intact appearance externally.

Statement of Significance

This bluestone cottage is one of the few substantially intact 1850's residences surviving in Richmond.

References

National Trust of Australia (Victoria) File No. 5104.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Cnr. Botherambo Street/Tanner Street.

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 21.11.84

NEG. FILE 11-19

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Brick/Render

Roof Corr. Iron

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys

INTEGRITY RATING

excellent

good

fair

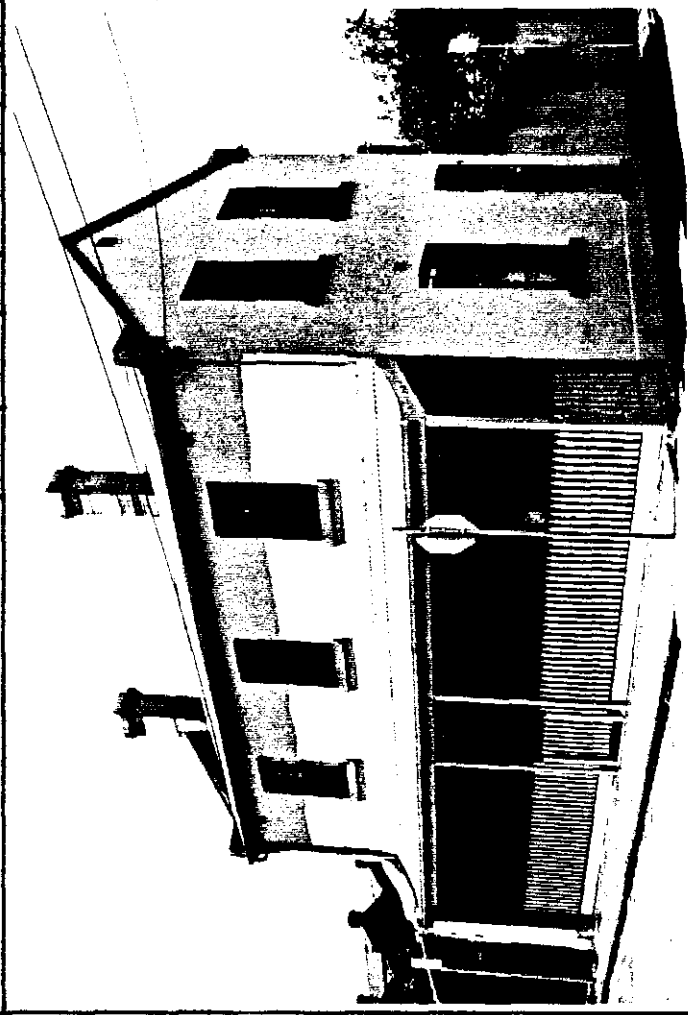
poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
	Fence					

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS



RESIDENCE

Corner Botherambo Street and Tanner Street

History and Description

This Victorian residential building was probably constructed in c. 1860. No evidence has been found to establish the actual construction date of the building. It is constructed to a rectangular plan, and is symmetrically proportioned with a central entrance flanked by windows. A verandah relieves the building at ground level and extends to the property line. Simple window treatments, gable pitched roof, and chimney decoration is indicative of its 1860's construction date.

Statement of Significance

This Victorian residence is prominently located and is an important survivor of this early settled area of Richmond.

References

Sands and McDougall, Melbourne Directory 1860-1880.
M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 108-112 Bridge Road

BUILDING TITLE

TYPE

If not residence Shops

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 23.11.84

NEG. FILE

109-34

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Brick/Render

Roof

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

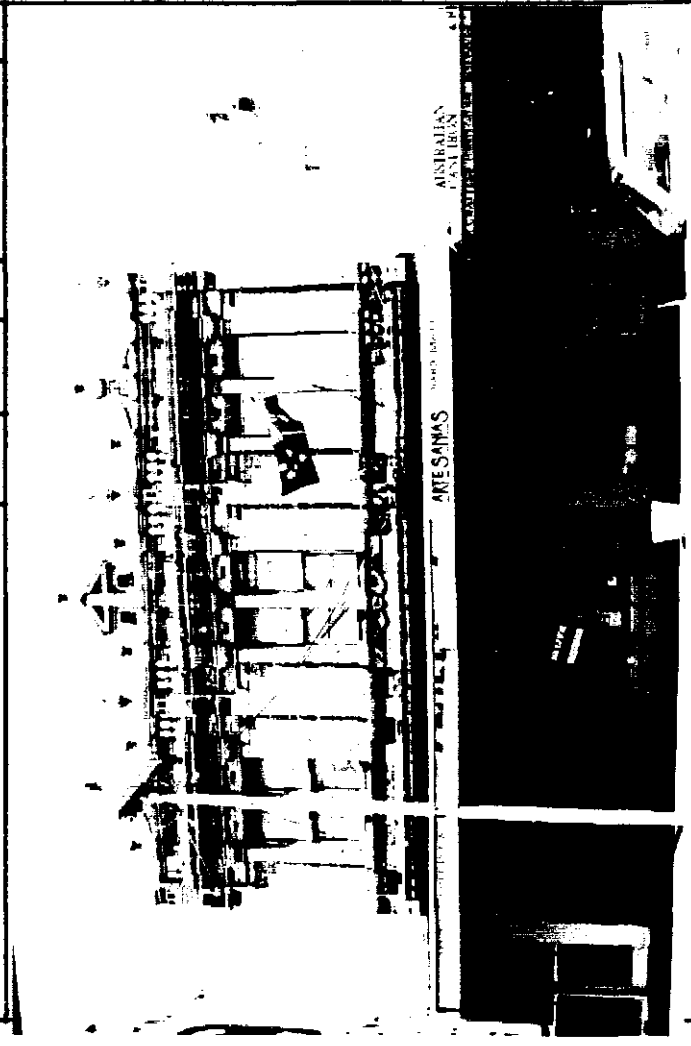
Shopfront (112)

original roof form & finish

Shopfront tiles (108)

original chimneys

Shopfront Form (108, 110)



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Awning	S		

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

SHOPS
108-112 Bridge Road

History and Description

The boom style commercial building was erected in c.1885, and appears on the 1896 Melbourne and Metropolitan Board of Works map of Richmond.

The building is an important example of elaborate late Victorian period decoration. The principle facade is constructed in polychromatic brick with applied cement render decoration. Elongated window pilasters, elaborate cornices, and parapet detail articulate the building. The parapet is completed by decorative urns, and central pediment. The shopfronts are substantially intact, and particularly notable is the shopfront at number 112.

Statement of Significance

This boom style commercial building exhibits a now rare example of an original building facade with shopfronts. The building is an important contributor to the Bridge Road commercial precinct.

References

M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 138-144 Bridge Road

BUILDING TITLE Wustemann's Buildings

TYPE

If not residence Shops

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 16.8.84 NEG. FILE 29-10

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE 1901 Source Parapet

MATERIALS

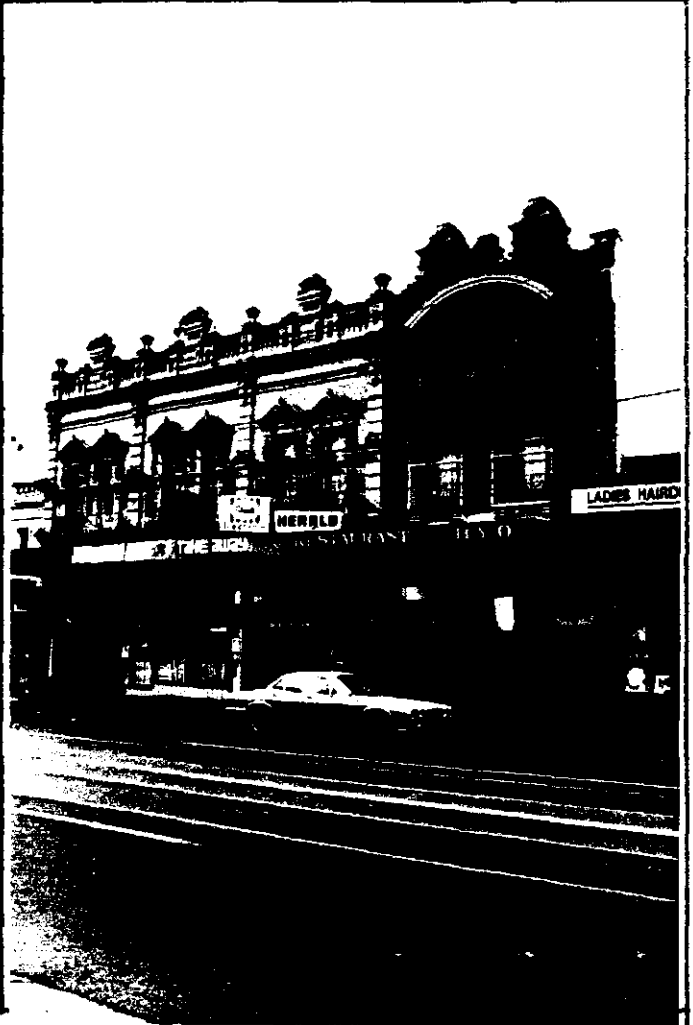
Walls Cement Render Roof

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish 142, 144 <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows upper <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Shopfront 138 <input checked="" type="checkbox"/>
original roof form & finish <input type="checkbox"/>	
original chimneys <input type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
138, 140			Painted Render	RAM		
144	Shopfront					
140, 142			Shop Fronts	S		
138-44			Signage	S	Verandahs	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

WUSTEMANN'S BUILDINGS
138-144 Bridge Road

History and Description

This group of shops was built on the redeveloped site of the Richmond Presbyterian Church.

The buildings were erected in 1901, for a Richmond entrepreneur, Wustemann. The buildings as constructed, most probably numbered seven, as early directories indicate members of the Wustemann family, as occupiers of numbers 132 and 134 Bridge Road.

They form an elaborately detailed terrace of Edwardian period commercial buildings. Notable details include the pedimented window hoods, balconettes, and monumental parapets. Two buildings retain their original unpainted render finish, and an early shopfront survives at number 138.

Statement of Significance

An elaborate terrace of Edwardian shops forming part of the important Bridge Road commercial precinct.

References

M.M.B.W. Plan of Richmond 1896.
Sands and McDougall, Melbourne Directory 1903.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 184 Bridge Road

BUILDING TITLE Former Melbourne Savings Bank

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 16.8.84 **NEG. FILE** 29-18

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

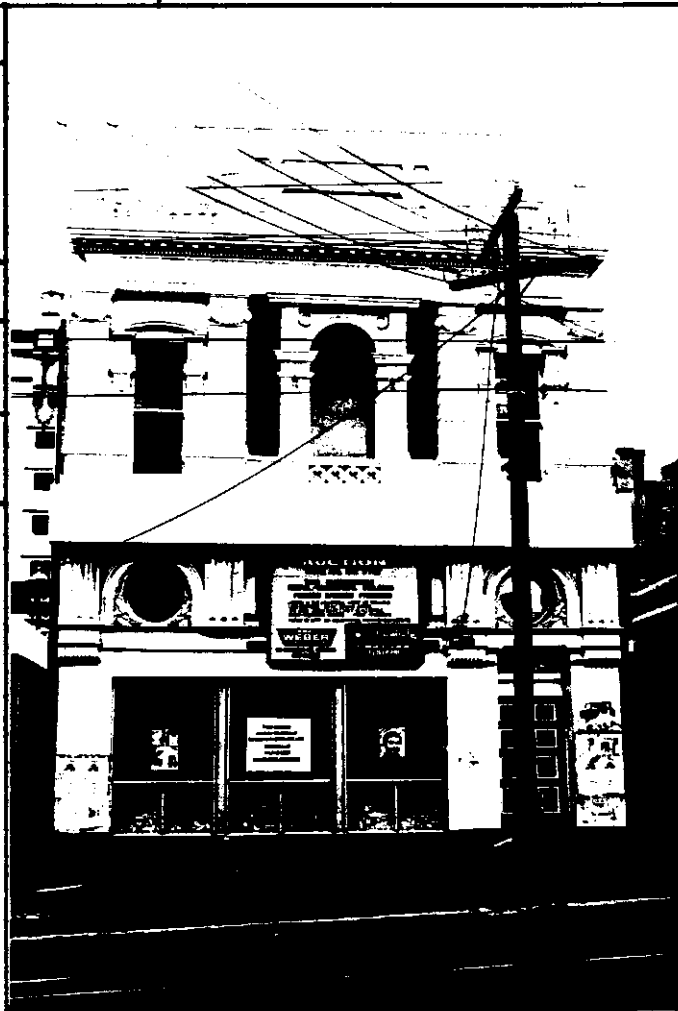
Walls Cement Render Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows (upper) <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM	Lower Window	O
					Fascia	R

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER MELBOURNE SAVINGS BANK 184 Bridge Road

History and Description

Tenders were called for the erection of a suburban branch for the Melbourne Savings Bank in Richmond, on 2nd March 1889. The architectural firm for the project was Wright and Lucas.

The branch in Bridge Road was constructed in that year, and was operated by the Melbourne Savings Bank until its amalgamation with the Commercial Bank of Australia.

The building was constructed in the distinctive style of Wright and Lucas using elaborate and extravagant motifs. The hallmark of the style is seen in the bold and extended consoles, pilaster capitals, and applied decorative arcuation. The Richmond building is interestingly proportioned with a recessed central balcony. Several other suburban banks were erected by this architectural practice, which repeat the motifs of the Richmond bank, in particular the former Melbourne Savings Banks at Clifton Hill and Burwood Road, Hawthorn. The Richmond bank features elaborate circular windows and extended consoles. Unfortunately the lower windows have now been replaced with large sheet glass panels. The building remains a fine architectural element in the Bridge Road commercial streetscape.

Statement of Significance

This former branch of the Melbourne Savings Bank is an important example of the Victorian boom classical style, as distinctively interpreted by architects Wright and Lucas. The building is an important contributor to the Bridge Road commercial precinct.

References

B. Trethowan, A Study of Banks in Victoria 1851-1939.
Architects Bibliography File, State Library of Victoria.



Former Melbourne Savings
Bank, 1912.

(Richmond Historical Society)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 201-207 Bridge Road

BUILDING TITLE **TYPE**
If not residence Shops

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 16.8.84 **NEG. FILE** 29-5

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE Source

MATERIALS

Walls Brick Roof

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows upper <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Signage	S	Verandahs	S
			Shopfronts	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

SHOPS
201-207 Bridge Road

History and Description

This group of five Edwardian period shops was constructed sometime after 1896. The Board of Works survey of 1896 shows Joseph Bosisto's villa and grounds in this section of Bridge Road.

The shops are designed in a transition style, with brick facades articulated by render detail. Flat headed windows, and extended pilasters form the main decorative treatment to the end buildings. The central buildings feature segmental arched windows and articulating render bands applied to emphasise the system of arcuation. These buildings are completed by the familiar Edwardian curved parapet form.

Statement of Significance

These transitional style commercial buildings are an important component of the Bridge Road commercial precinct.

References

M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 231 Bridge Road

BUILDING TITLE National Bank of Australasia

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** **NTC** FN.521

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 16.8.84 **NEG. FILE** 29-3

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

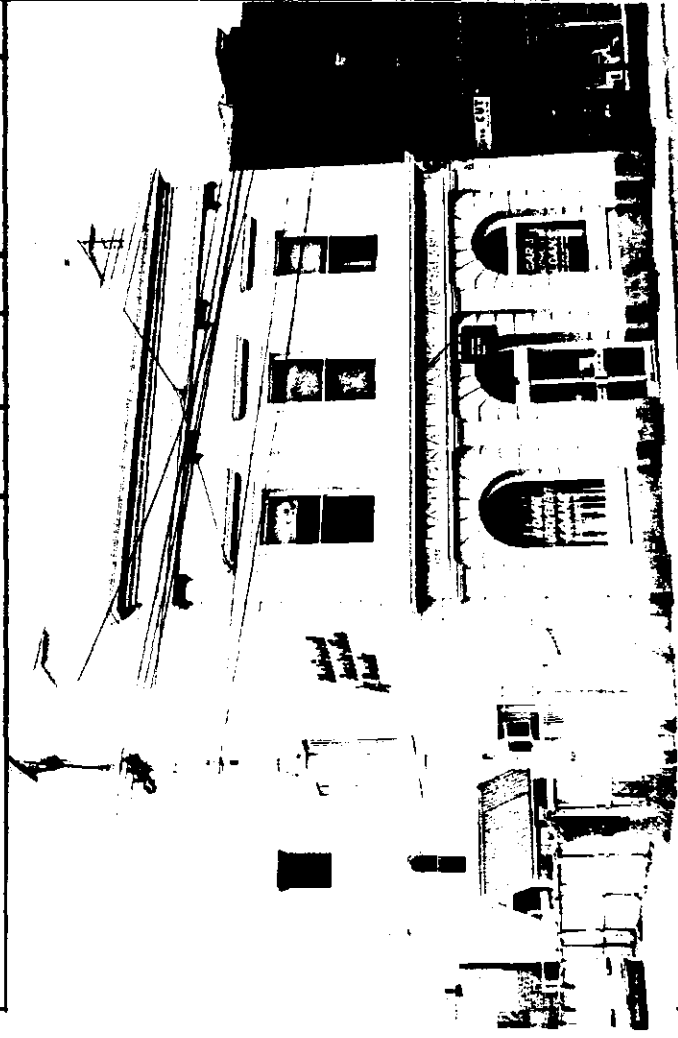
Walls Cement Render Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows upper <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input checked="" type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		
			Signage	S		
			Doors	O		
			Grd. Flr. Sashes	O		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

NATIONAL BANK OF AUSTRALASIA
231 Bridge Road

History and Description

This bank was erected for the National Bank of Australasia in 1865. It is the oldest surviving intact bank building in Richmond.

Architect for the building was Lloyd Tayler. Tayler commenced an important association with the National Bank of Australasia in the 1860's, and gained repute as a prominent bank architect. The Richmond branch was one of the two important suburban commissions executed for the bank. Generally his bank designs followed the Renaissance Revival Style, and were distinguished with a refined austerity of detailing. Lloyd Tayler was a prominent practitioner in his field, and was an inaugural member of the Victorian Institute of Architects, formed in 1856, and was later to become president on three separate occasions. Tayler was also instrumental in gaining public charter for the Institute.

The facade is articulated by an applied system of trabeation. Banded rustication emphasize the arch headed windows at ground floor, and applied pilasters distinguish the building vertically. Rustication is continued at first floor level as quoining. A side residential entrance with a gateway and porch remain.

Statement of Significance

The Richmond branch of the Bank of Australasia is a significant suburban commission of the prominent nineteenth century architect, Lloyd Tayler. The building maintains a high degree of integrity, and is an important element in the Bridge Road commercial precinct.

References

Australian Dictionary of Biography
B. Trethowan A Study of Banks in Victoria 1851-1939.
National Trust of Australia (Victoria) File Number 521.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 296, 294 Bridge Road

BUILDING TITLE Theobalds Buildings

TYPE Shops
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 25.7.84 **NEG. FILE** 52-32

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

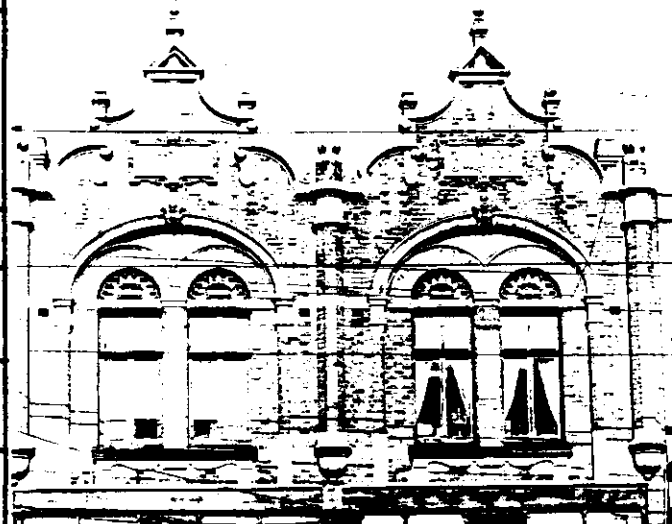
Walls Brick Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original 1st Flr. doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Original 296 Shopfront <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Verandahs	0
294			Shopfront	0		
296			Paint on Tiles	R		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

THEOBALD'S BUILDINGS
296 - 294 Bridge Road

History and Description

Built in 1909 by the distinguished Richmond builder Clements Langford for Richmond Theobald, tea merchant.

A most unusual pair of Edwardian shops designed in a Flemish baroque style. Notable features are the parapets, bartizans, art nouveau sign and rococco shells over the windows. No. 296 has its original shopfront.

The original post supported cast iron verandah and shopfronts have been removed.

Statement of Significance

An outstanding pair of Edwardian shops, intact above verandah level.

References

Richmond Council Builders & Owners Index.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 381-389 Bridge Road

BUILDING TITLE

TYPE

If not residence Shops

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 30.8.84

NEG. FILE 202-37

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Cement Render Roof

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

Timber Stallboards

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
383-9			Painted Render	RAM		
381-9					Verandah Removal	S
389					Shopfront	0

0 = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

SHOPS
381-389 Bridge Road

History and Description

The first documentary evidence of the appearance of these brick buildings is in 1896, and the construction period was most probably sometime earlier in c. 1885. The massing of the buildings is well articulated by a central stepped gable pediment and secondary pediments to the end flanking buildings, elaborate window hood mouldings and parapets with decorative balls. Timber shopfronts and timber stallboards survive.

Statement of Significance

These late Victorian commercial buildings with their original timber shopfronts are a prominent feature of the Bridge Road commercial precinct.

References

M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 377 Burnley Street

BUILDING TITLE A N Z Bank

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** **NTC** FN.4995

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 25.6.84 **NEG. FILE** 7-33

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

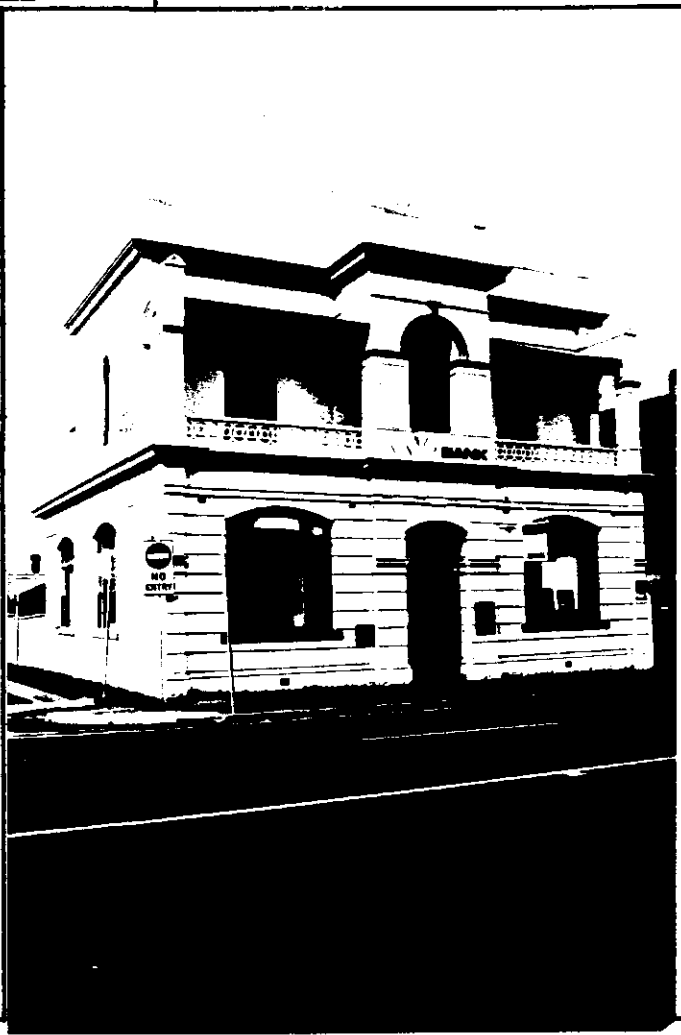
Walls Cement Render Roof

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Signs	S		
			Painted Render	S		
			Doors	O		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

ANZ BANK
377 Burnley Street

History and Description

This suburban branch was erected for the Bank of Australasia in 1889. Architect for the works was the prominent bank designer, Anketell Henderson, of the firm Reed, Henderson and Smart. Henderson was an important protagonist of the austere classical style in bank architecture of the 1880's.

The Burnley branch is constructed to the predominant rectangular plan with a projecting entrance form, articulated by a balcony and projecting parapet. Architectural detail is restrained. The ground floor is emphasised by banded rustication, and simple flat arch headed windows and simple string coursing provide the only elaboration. The first floor rooms are recessed behind a balcony with central vestibule and window. Projecting cornices complete the building.

The building currently operates as a branch of the Australian and New Zealand Banking Group.

Statement of Significance

The Burnley branch of the former Bank of Australasia, is an important work of the prominent bank architect, Anketell Henderson, erected in an 1880's style of austere classicism.

References

B. Trethowan, A Study of Banks in Victoria 1851-1939 .
National Trust of Australia (Victoria) File No. 4995.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 294 Church Street

BUILDING TITLE R.U.F.S. Dispensary

TYPE
If not residence Shop

EXISTING DESIGNATION HBR **NER** **NTC** FN.2923

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 26.7.84 **NEG. FILE** 28-29

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Cement Render Roof

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original floors/windows upper <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM	Windows - Lower	0
			Door	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

R.U.F.S. DISPENSARY
294 Church Street

History and Description

The first stage was built in 1887 to the design of architect J.A.B. Koch for the Richmond United Friendly Society, which was first established in 1872 in Bridge Road.

In 1891 an extra room and a residence were added, and in 1908 extensions were made on the north side the architect being Peck, the builders Adams Bros. The entrance porch and oriel window were part of these extensions.

The building continued to be used as a United Friendly Society dispensary until recently. Unfortunately the ground floor windows and door have been altered.

Statement of Significance

An elegant late Victorian building of interest for having been initially designed by J.A.B. Koch and for having retained its use, until recently, as the local Friendly Society Dispensary.

References

National Trust of Australia (Vic.) F.N. 2923.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 300 Church Street

BUILDING TITLE Former Wesleyan Chapel

TYPE Richmond
If not residence Uniting Church

EXISTING DESIGNATION HBR **NER** R/01/08 **NTC** FN.2891

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE 26.7.84 **NEG. FILE** 28-26

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

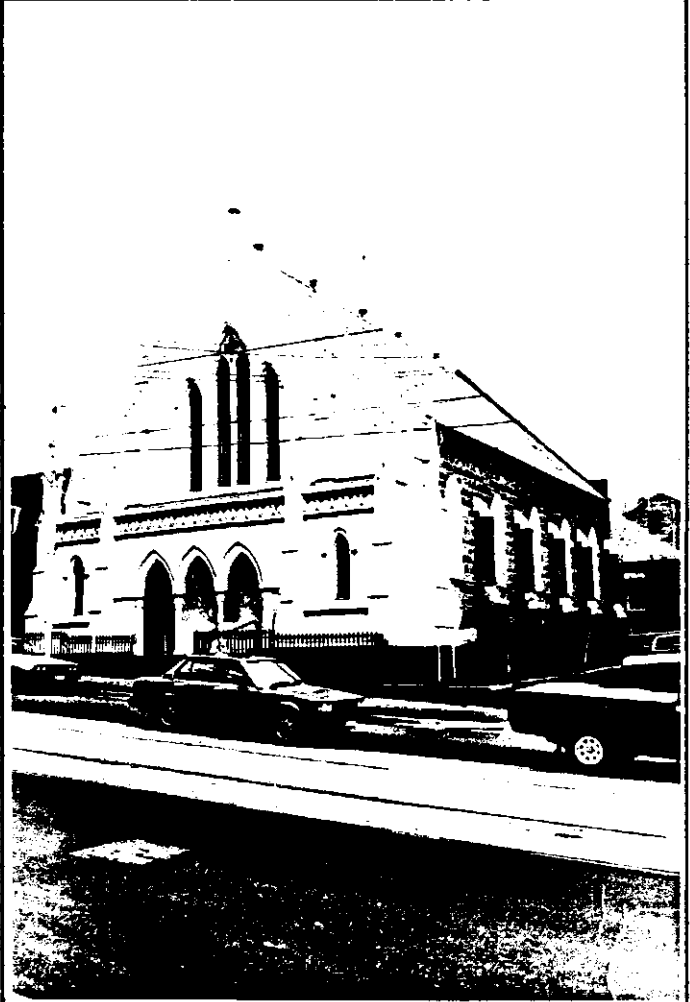
Walls Bluestone & Render Roof Iron Tiles

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/> Sides	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original stone windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Painted Render	RAM

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Iron tile roof restored 1972. These tiles were introduced in the 1840's and were probably a Morewood & Rogers (London) design.

FORMER WESLEYAN CHAPEL
300 Church Street

History and Description

Erected between 1853-4 as the Wesleyan Methodist Chapel to the design of architects Wharton and Burns, and extended by the addition of a new porch and facade designed by architects Crouch and Wilson in 1858.

In 1852 the Wesleyans ordered 30 tons of iron from Morewood and Rogers, London. The original iron roofing tiles on the Chapel could have been part of this order. In 1853 the Church Act allowed a grant of up to 3000 pounds from public funds towards a church building in stone, and thirty thousand pounds per annum was apportioned between the sects.

The site was donated by Henry 'Money' Miller in 1851. Built of local bluestone, the Chapel was the third constructed in Richmond for the Wesleyan congregation. The rendered facade is a notable Early English Gothic design. The interior, with the gallery of 1873, Fincham organ of 1878, choir, fine wood panelling and wall stencilling, is of high architectural importance being largely intact.

Statement of Significance

A good example of Early English Gothic church design with a splendid interior, substantially unaltered since 1873.

References

Historic Environment, Vol. 4, No. 1 1984 pp. 31,35.
National Trust of Australia (Vic.) F.N. 2891.
 National Estate Register citation.



Wesleyan Chapel, undated.
 (La Trobe Library picture collection.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 300 Church Street (rear)

BUILDING TITLE Former Wesleyan Schoolhouse (1853) **TYPE** If not residence

EXISTING DESIGNATION HBR **NER** R/01/08 NTC FN.2891

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-25

PERIOD
 Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS
 Walls T & G Bead
 Edge Linings Roof Iron

FORM
 Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input checked="" type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Steps at Door	O		
			Window Hoods	R		
			Architraves	O		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Waltham Place windows later addition. Other windows 12 pane.

FORMER WESLEYAN SCHOOLHOUSE (1853)
300 Church Street

History and Description

Constructed in 1853 as temporary accommodation for the resited Richmond Wesleyan Methodist congregation during construction of the stone chapel.

It was also used as the first schoolhouse and to provide accommodation for the church sexton upon completion of the chapel in 1854. In 1865 it became common school no. 533.

The building retains its original bead edge tongue and groove external lining boards, an unusual feature, and twelve pane double hung windows. Corrugated iron has replaced the original shingle roofing. Minor alterations have been made since 1853.

Statement of Significance

Significant as a relatively intact timber structure built in 1853.

References

National Trust of Australia (Vic.) F.N. 2891.
National Estate Register citation.

Richmond
nary 1943



*Richmond Chapel.
at the rear of the
present church.
1853.*

Former Wesleyan Schoolhouse looking north west, 1943.
(Richmond Historical Society.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 300 Church Street

BUILDING TITLE Former Wesleyan School House

TYPE

If not residence Uniting Church Hall

EXISTING DESIGNATION

HBR

NER

R/01/08 NTC

FN.2891

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 26.7.84

NEG. FILE ²⁸⁻²⁵
105-26

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Brick

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

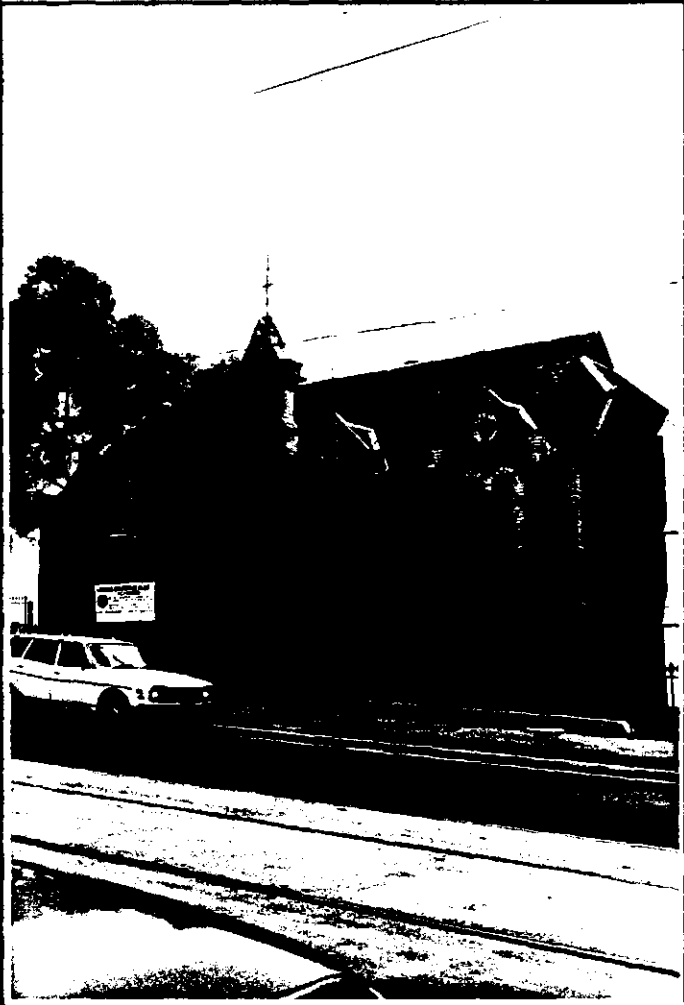
intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Signage	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER WESLEYAN SCHOOLHOUSE
300 Church Street

History and Description

Erected in 1871 as a Wesleyan Methodist schoolhouse by John Thomas to the design of architects Crouch and Wilson.

It is a polychromatic brick structure with a central dominant belcote, flanking gables, arched windows and half hipped gable roof in a style reminiscent of 1870's Victorian school architecture.

It is an integral part of a church complex which includes the original and temporary wooden chapel, stone chapel and brick manse.

The Church Street facade is intact. Additions were made to the southern side in 1887, two classrooms to the west side in the 1890's and another classroom in 1907.

Statement of Significance

An interesting church schoolhouse reflecting the decorative and stylistic trends of 1870's Victorian school architecture.

References

National Trust of Australia (Vic.) F.N. 2891.
National Estate Register citation.



Side addition, west side.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 300 Church Street

BUILDING TITLE Former Wesleyan Parsonage

TYPE Uniting
If not residence Church Parsonage

EXISTING DESIGNATION HBR **NER** R/01/08 **NTC** FN.2891

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 26.7.84 **NEG. FILE** 28-27

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE Source

MATERIALS

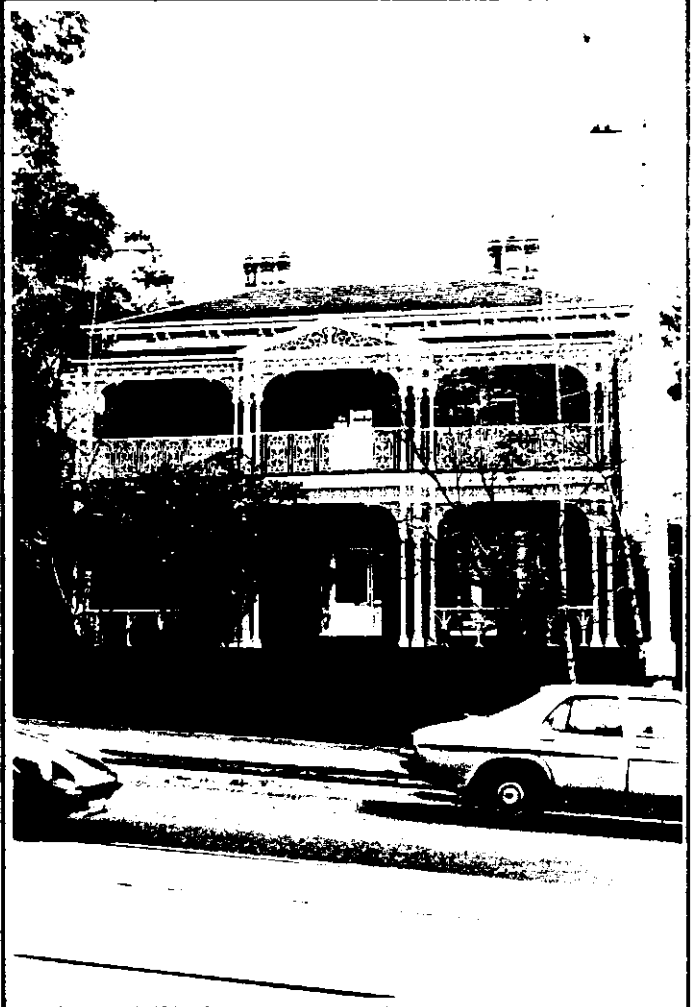
Walls Brick Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	Timber Verandah Floor <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Fence	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER WESLEYAN PARSONAGE
300 Church Street

History and Description

Erected in 1876 by builders Delbridge and Thomas to the design of architects Terry and Oakden, as the Wesleyan Methodist parsonage. It replaced an earlier parsonage on the Church reserve in Bridge Road.

The design is distinguished by the elaborate cast iron verandah with ornate clusters of columns and the unusual ground floor Gothic style balustrade.

It is now used as the Uniting Church manse and has been altered inside.

Statement of Significance

An interesting design most notable for its cast iron verandah and for having been designed by the important architect Leonard Terry.

References

National Estate Register citation.
National Trust of Australia (Vic.) F.N. 2891.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 316 Church Street

BUILDING TITLE

TYPE Former Hibernian Hall
 If not residence

EXISTING DESIGNATION HBR NER NTC 518

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE 26.7.84 **NEG. FILE** 28-24

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

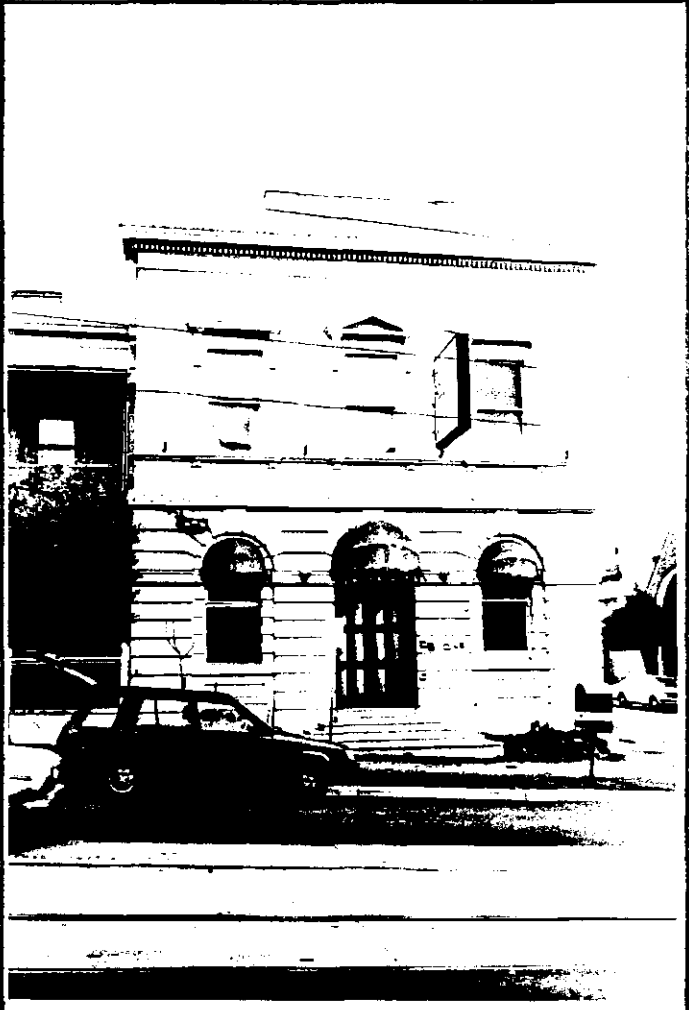
Walls Cement Render Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		
			Signage	S		
			Canopies	R		
			Steps	S		
			Doors	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER HIBERNIAN HALL
316 Church Street

History and Description

Built in 1872 as a temperance hall for the Hibernian Society. The society's aim, as temperance reformers, was to "... extend the great and glorious cause until the last drunkard was brought into the land, until hotels, which were the abomination of the land, were closed, and sobriety reigned supreme".

The building is a good example of classical revivalism with rusticated stucco at ground floor level, and window consoles and dentilled cornice at the upper level.

An 1873 photograph shows a pair of 3 panel front doors, and a different set of steps. The parapet also had a pair of consoles.

Statement of Significance

An interesting example of an 1870's temperance hall in a classical revival style.

References

National Trust of Australia (Vic.) F.N. 518.

1. Davison, Graeme Melbourne on Foot page 95.



Hibernian Hall in 1873.
(La Trobe Library picture collection.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 326 Church Street

BUILDING TITLE St. Ignatius' Presbytery

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** **NTC** FN.2025

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-21

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Sandstone & Bluestone Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input checked="" type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Cypress Hedge <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

ST. IGANTIUS' PRESBYTERY
326 Church Street

History and Description

Built in 1872 to the design of architect J.A. Kelly. On completion the presbytery was claimed to be 'the finest in the colony' and designed in the 'Southern French style'.

It originally had a two storey cast iron verandah. This was removed sometime after 1897 when the building was extended to the south, faced in bluestone and an arcade constructed across the original part of building.

Originally there was a timber picket fence along the Church Street frontage.

Statement of Significance

An impressive piece of architecture that forms an integral part of the St. Ignatius' Church complex. The front garden is an important feature.

References

Elsworth, Rev. W., Pioneer Catholic Victoria.
Annals of the Catholic Church in Victoria, 1897.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 339 Church Street

BUILDING TITLE

TYPE
If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 5.7.84

NEG. FILE 23-34

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Brick

Roof T.C. Tile

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

Tiled Verandah Floor

original roof form & finish

original chimneys

INTEGRITY RATING

excellent

good

fair

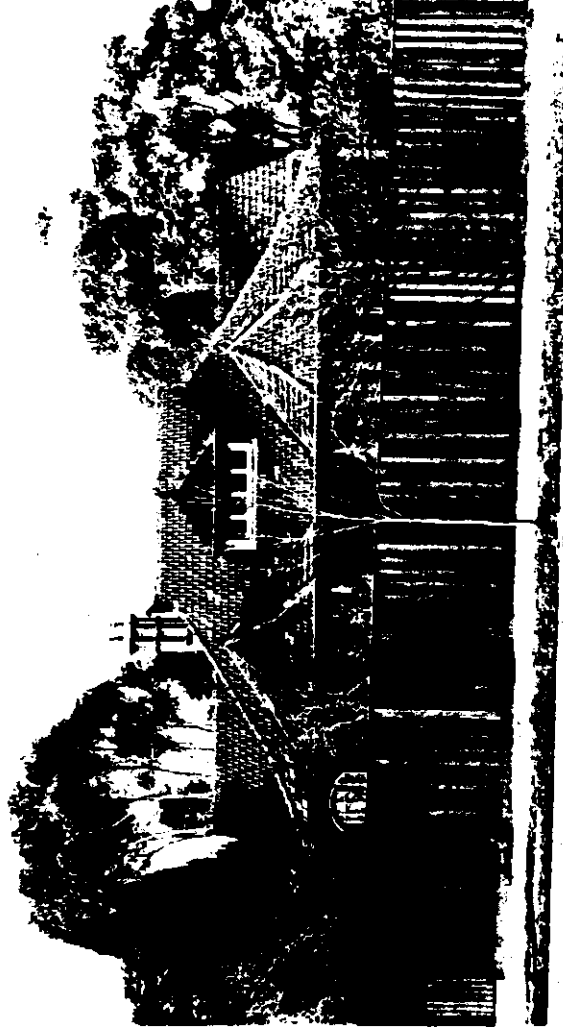
poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Garage	S	Fence	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS



RESIDENCE
339 Church Street

History and Description

This Queen Anne style residence was constructed in 1907, to the design of architect Gerald Vanheems for J.H. Mullally. The builders were Adam Bros. In 1896, the Board of Works plan of Richmond shows an earlier large building on this site, and its replacement by this house represents the second generation development of urban building in Richmond.

The design expresses the archetypal Queen Anne sweeping roof form with changing pitch over verandahs, projecting hips and gables, and bay windows, all emphasising the planning of the building. This residence represents a refinement of architectural detailing, and maintains a high degree of integrity.

Statement of Significance

This Queen Anne style building is an important building of its style, notable for its well massed articulating roof form, and sophistication of architectural detailing.

References

Sands and McDougall, Melbourne Directory 1898-1935.
M.M.B.W. Plan of Richmond 1896.
Richmond Guardian, 7th Sept. 1907.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 364 Church Street

BUILDING TITLE

TYPE

If not residence Former Residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 16.8.84

NEG. FILE 29-33

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Cement Render

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

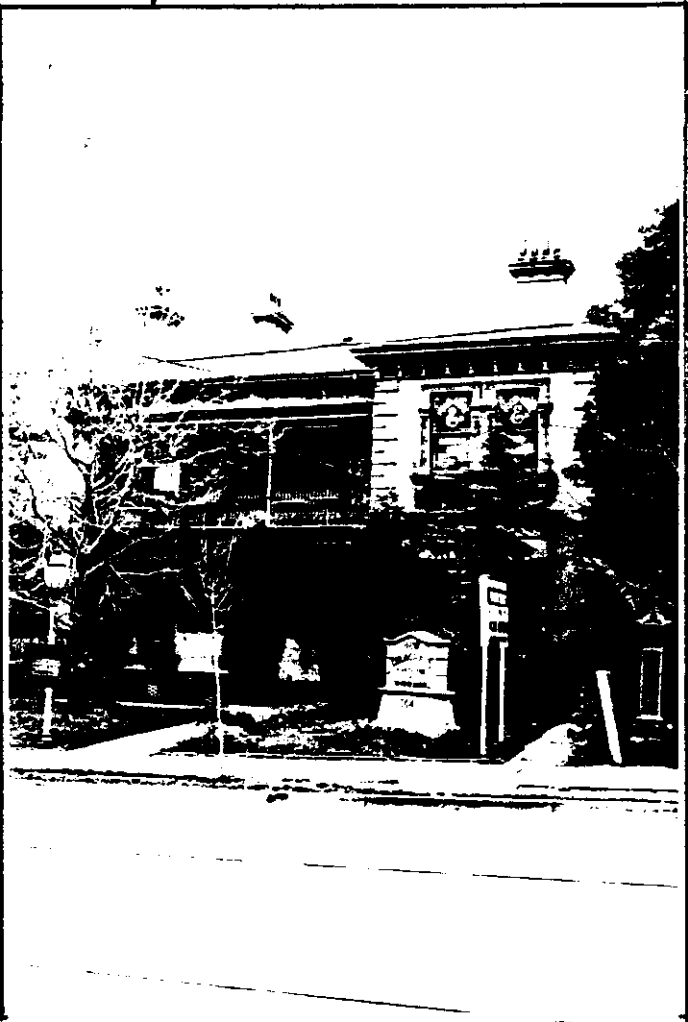
intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Fence Removal	S		
			Signage	S		

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

**FORMER RESIDENCE
364 Church Street**

History and Description

The first documentary evidence of the appearance of this building is in 1896. At this time the building is shown as a brick structure with a projecting wing to the front facade and front verandah. A rear verandah, service area and rear stable building are also evident. The front garden had two squared flanking beds and a central pathway.

The building maintains its original form. The brick construction has a cement render finish, still in an unpainted condition. Simple decoration includes applied quoining, window hood mouldings and balconettes. Eaves brackets and elaborate chimneys complete the building. It maintains a high degree of integrity. The building is now used as a restaurant.

Statement of Significance

This prominent building, maintains a high degree of integrity and is an important element in Church Street.

References

M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 377 Church Street

BUILDING TITLE Helenville

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC F.4318

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE 5.7.84 **NEG. FILE** 34-1

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

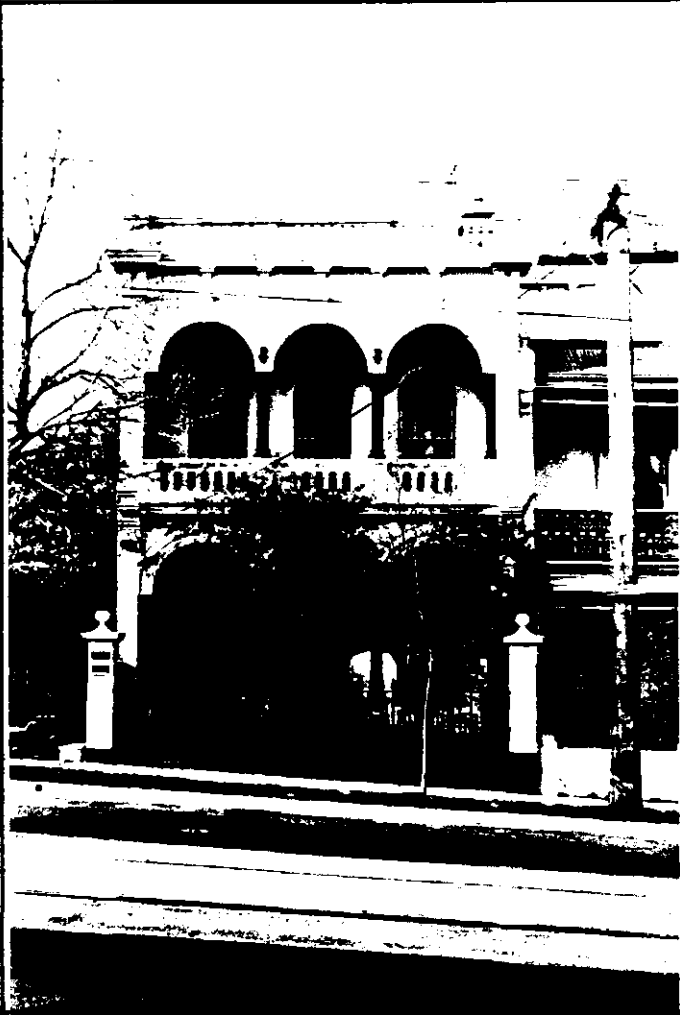
Walls Cement Render Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Tiled Verandah Floor <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		
			Window Grilles	R		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

HELENVILLE
377 Church Street

History and Description

'Helenville' was built in 1885 for the distinguished architect John A.B. Koch. Koch lived here until 1896 when the house was purchased by the Church of England Orphans' Fund.

Koch was born in Hamburg, Germany, in 1845 and died in Hawthorn in 1928. He arrived in Victoria when only eight years old. His first known building was the Castlemaine Hospital and Nurses' Home which was built in 1869 when he was articled to F.M. White. Koch went into private practice in 1873. He designed many fine buildings in Richmond and was mayor in 1882-3. He is probably best remembered as the architect for 'Labassa' in Caulfield.

'Helenville' is a stuccoed brick terrace house of nine rooms. Like many examples of Koch's work, it has an Italian Renaissance derived arcaded facade with a balustered parapet and balcony, and the arches are supported on squat cast iron columns.

Statement of Significance

'Helenville' is significant as the Richmond residence of the gifted architect John A.B. Koch between 1885 and 1896.

References

National Trust of Australia (Vic.) F.N. 4318.
Trust News, Feb. 1982, p.8.



Richmond architect and mayor, J.A.B. Koch, undated.
(Richmond Historical Society.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 384 Church Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

F.4995

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 16.8.84

NEG. FILE 29-35

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Cement Render

Roof

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

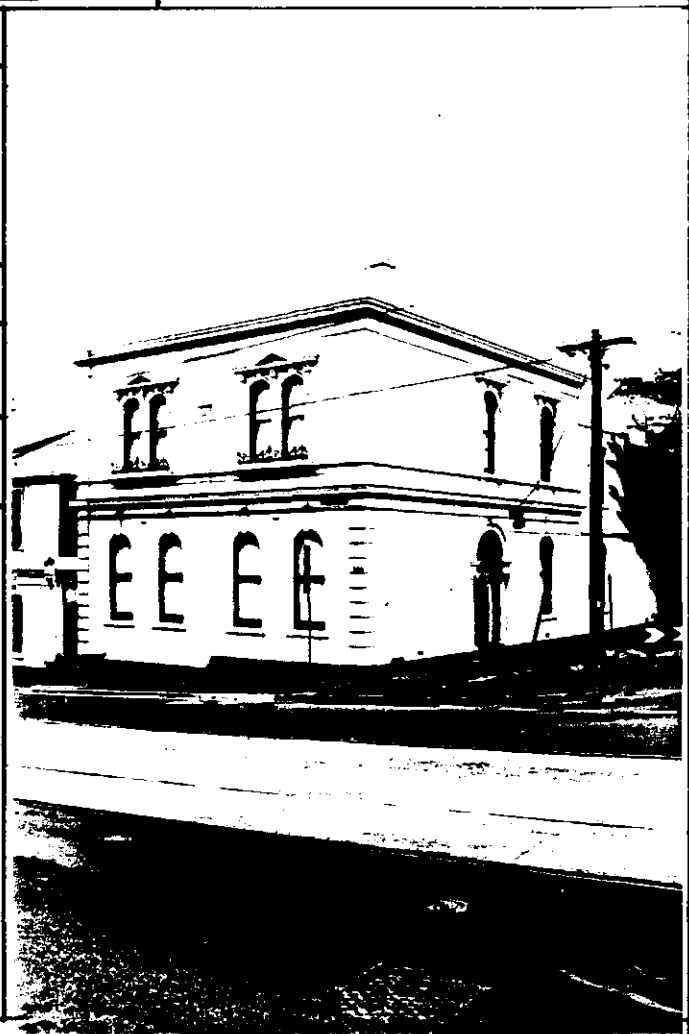
other prominent contrib. elevations

original parapet

Stables at Rear

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

RESIDENCE
384 Church Street

History and Description

An elegant Italianate building designed by architect J.A.B. Koch in 1885 for Dr. Druidin as a residence and consulting rooms.

The arched and columned side entrance, coupled windows with pediments, cast iron balconettes and stucco quoining are notable features.

A weatherboard stable building remains at the rear.

Statement of Significance

An elegantly composed Italianate building by the gifted Richmond architect J.A.B. Koch.

References

National Trust of Australia (Vic.) F.N. 4995.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 454, 456 Church Street

BUILDING TITLE M. Ball & Co. **TYPE**
If not residence Shops

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 15.8.84 **NEG. FILE** 99-18
72-9

PERIOD
Early Victorian Edwardian
Victorian
Late Victorian

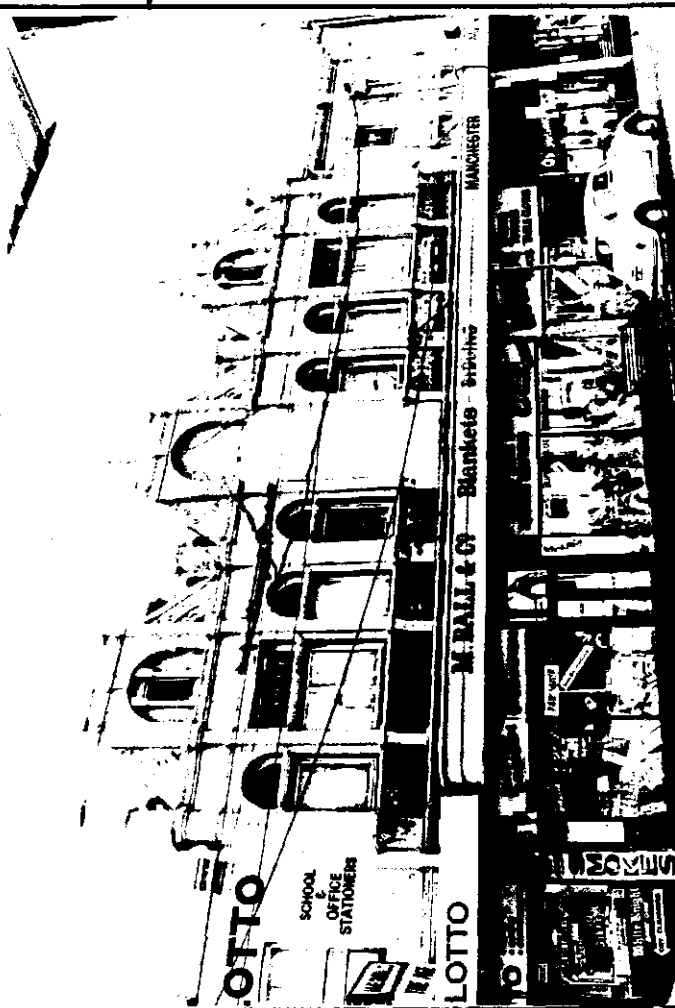
CONSTRUCTION DATE Source

MATERIALS
Walls Brick Roof Iron

FORM
Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Painted Brickwork	RAM
					Verandah	0

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

SHOPS**45A, 456 Church Street****History and Description**

A group of three Edwardian shops designed by the distinguished architect Nahum Barnet in 1902. Barnet (1855-1931) also designed the Wertheim piano factory in Bendigo Street in 1909.

The shop facades are intact above verandah level and are interesting because of the elaborately detailed series of brick gables and contrasting stucco decoration in an art nouveau design.

The verandahs and shopfronts have been altered.

Statement of Significance

A distinctive group of gabled Edwardian shops by the distinguished architect Nahum Barnet.

References

Argus. Sept. 2/3 1931, p.6, obituary of Nahum Barnet.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 29 Clifton Street,

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 30.7.84

NEG. FILE 36-5

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls

Brick

Roof

T.C. Tile

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

original unpainted wall finish

ornamental wall detailing

original doors/windows

intact verandah structure

original parapet

original roof form & finish

original chimneys

eaves, roof or gable decoration

intact verandah decoration

early fence

early garden

other prominent contrib. elevations

Tiled Verandah

Floor & Path



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Door Glass	S
					Fence	S

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

RESIDENCE
29 Clifton Street

History and Description

There was no recorded structure on this land, when the area was surveyed for the Melbourne and Metropolitan Board of Works in 1896.

It was sometime later in c. 1913 that this building was constructed for Clements J. Langford. The building is a well conceived and executed residence, constructed in the Edwardian style.

The building is notable for its sophistication of architectural detailing, epitomising the vernacular of its construction period, including casement window groupings, applied timber strapwork, timber verandah elements, and barge board and projecting collar tie decoration. The terracotta tile roof exhibits roof cresting and eagle form finials.

Statement of Significance

29 Clifton Street is an important Edwardian period residence in Richmond, notable for the execution and expression of architectural elements, comensurate with its construction period.

References

Sands and McDougall, Melbourne Directory 1909-1915.
M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 16, 18 Cubitt Street

BUILDING TITLE

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.10.84 **NEG. FILE** 117-15

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

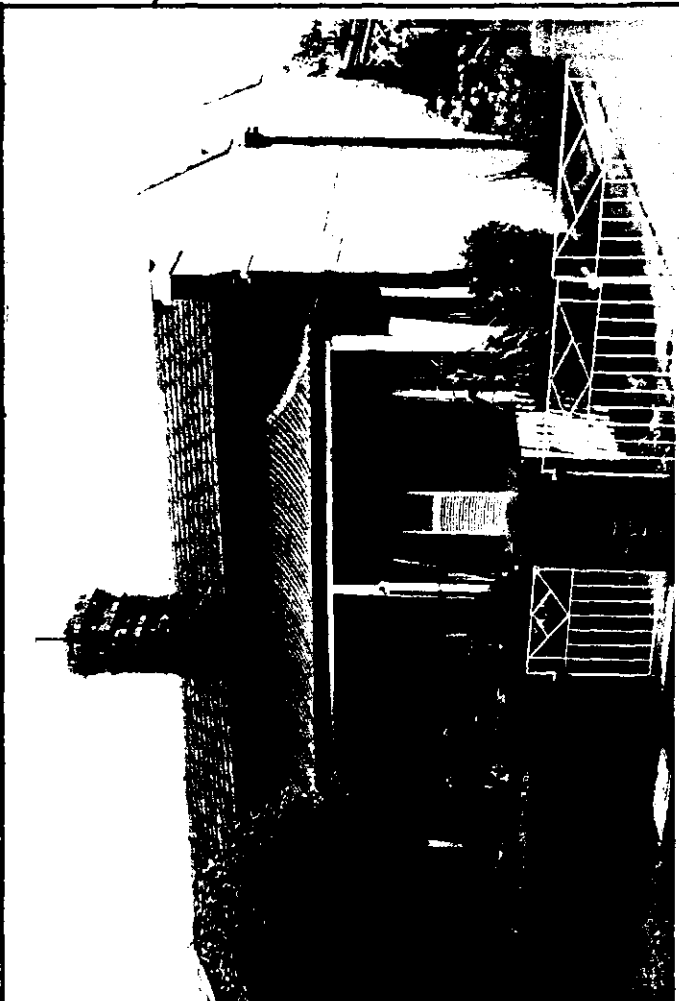
Walls Brick Roof Slate

FORM

Attached Semi Detached

SIGNIFICANT FEATURES

early paint colour scheme	<input type="checkbox"/>	eaves, roof or gable decoration	<input type="checkbox"/>
original unpainted wall finish	<input checked="" type="checkbox"/>	intact verandah decoration	<input type="checkbox"/>
ornamental wall detailing	<input type="checkbox"/>	early fence	<input type="checkbox"/>
original doors/windows	<input checked="" type="checkbox"/>	early garden	<input type="checkbox"/>
intact verandah structure	<input checked="" type="checkbox"/>	other prominent contrib. elevations	<input type="checkbox"/>
original parapet	<input type="checkbox"/>		<input type="checkbox"/>
original roof form & finish	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original chimneys	<input type="checkbox"/>		<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Fence	S		
			Painted Side Wall	RAM		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCES
16-18 Cubbit Street

History and Description

A pair of post 1855 semi-detached brick cottages exhibiting early Victorian characteristics - short span double gable roofs, French doors with glazing bars, concave verandah roof and simply ornamented chimney. The tuck pointed brickwork is an interesting feature on so early a house.

Cubbit Street was formed by a subdivision of Henry Ginn's Crown allotment by 1853.

Statement of Significance

A substantially intact semi-detached pair of early Victorian brick cottages.

References

John Steel Magee's 1855 map of Richmond.
William Green's 1853 map of Melbourne and suburbs.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 37 Docker Street

BUILDING TITLE Howlands

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC FN.4005

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 2.8.84 NEG. FILE 37-16

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

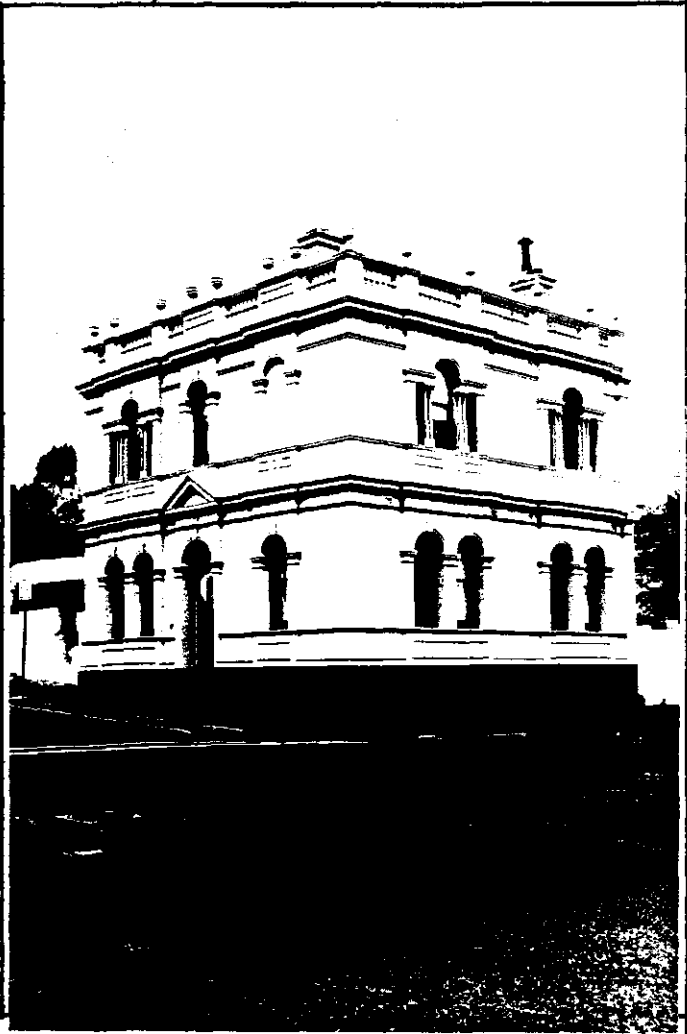
Walls Cement Render Roof

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors /windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM	Rear Fence	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

HOWLANDS
37 Docker Street

History and Description

Built in 1889 for George Alexander, tailor and founder of Alexander's stores. An earlier house, occupied by Ahab Kellet, existed on the site from 1867.

The site was created by the 1853 subdivision of Joseph Docker's Crown allotments.

'Howlands' is a finely detailed residence in a classical revival style. The massing, proportions, windows framed with pilasters, the coupled columns, and the balustraded parapet invite comparison with 384 Church Street, which was designed by J.A.B. Koch in 1885.

Statement of Significance

A finely detailed and intact late Victorian residence in a classical revival style.

References

Sands and McDougall Melbourne Directories 1866-1880.
Subdivision plan of Joseph Docker's Crown Allotments, 1853.
National Trust of Australia (Vic.) F.N. 4005.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 17 Elm Grove

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

FN.4263

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 5.7.84

NEG. FILE 34-10

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Brick

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Painted Brickwork	RAM
					Window & Door Grilles	R
					Removed Chimney Tops	S

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

RESIDENCE
17 Elm Grove

History and Description

Built c. 1872 as the residence of builder James Bonham.

It is an austere design originally in polychromatic brickwork but now painted over. The large recessed doorway is an unusual feature.

It forms an interesting group with numbers 19, 21 and 25 and complements number 3 Elm Street.

The 1896 M.M.B.W. plan shows a small verandah at the rear of the house, with a large garden and a stable building on the lane.

Bonham was the builder for the transept at St. Ignatius' Church from 1885-88.

Statement of Significance

An early 1870's terrace house interesting for its utilitarian composition.

References

National Trust of Australia (Vic.) F.N. 4263.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 19 Elm Grove

BUILDING TITLE

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC FN. 5363

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 5.7.84 NEG. FILE 34-11

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

Walls Cement Render Roof

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Porch <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM	Ground Floor Windows	0
	Window Shutters	R	Fence	S		

0 = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
19 Elm Grove

History and Description

This house was built in 1863 as the residence of architect James Miller Robertson, the site being part of the Elm Grove subdivision from Charles William's Crown grant in 1852.

It is a simply detailed two storey stuccoed brick building distinguished by a Georgian portico. The ground floor windows are the result of recent alterations.

In the 1880's, the property was owned by John B. Bennett, a Melbourne solicitor, and was occupied for a time during that decade by the important architect William Salway. He designed many Melbourne residences including Dr. Beaney's residence in Collins Street, now the Alexander Club.

An 1896 M.M.B.W. plan shows a long back verandah and stables at the rear.

Statement of Significance

An 1860's residence notable for its Georgian style portico.

References

National Trust of Australia (Vic.) F.N. 5363.

1896 M.M.B.W. plan.

White, J.U. Early Residents and Property Owners of Richmond.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 18 Erin Street

BUILDING TITLE Glen Nevis

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC F.517

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 11.7.84 NEG. FILE 100-4

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE 1891 Source Parapet

MATERIALS

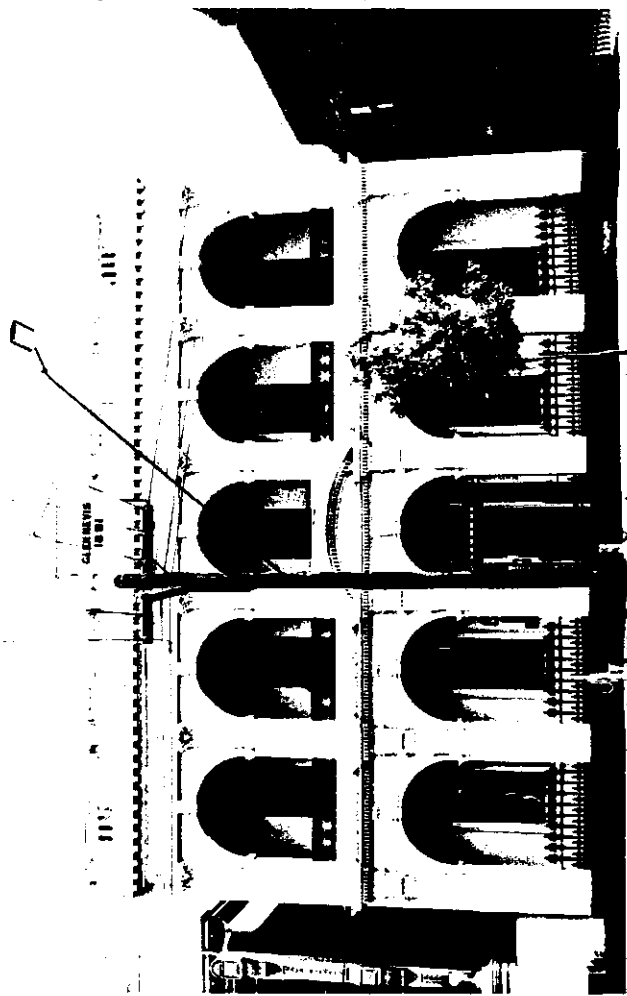
Walls Cement Render Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

GLEN NEVIS
18 Erin Street

History and Description

Built in 1891 on the 1881 subdivision of William Highett's Crown allotment, 'Glen Nevis' is distinguished by its two storey arcaded verandah with Ionic and Corinthian pilasters, cast iron balustrading, and arched entablature over the entry. It is also intact.

A comparable example exists at 111 Chapman Street, North Melbourne (1888).

Statement of Significance

'Glen Nevis' is significant as an intact example of a skilfully detailed arcaded late Victorian terrace house. It is vital to the historic character of Erin Street.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 25, 27 Erin Street

BUILDING TITLE Mossgiel (27)

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 11.7.84 **NEG. FILE** 30-3

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

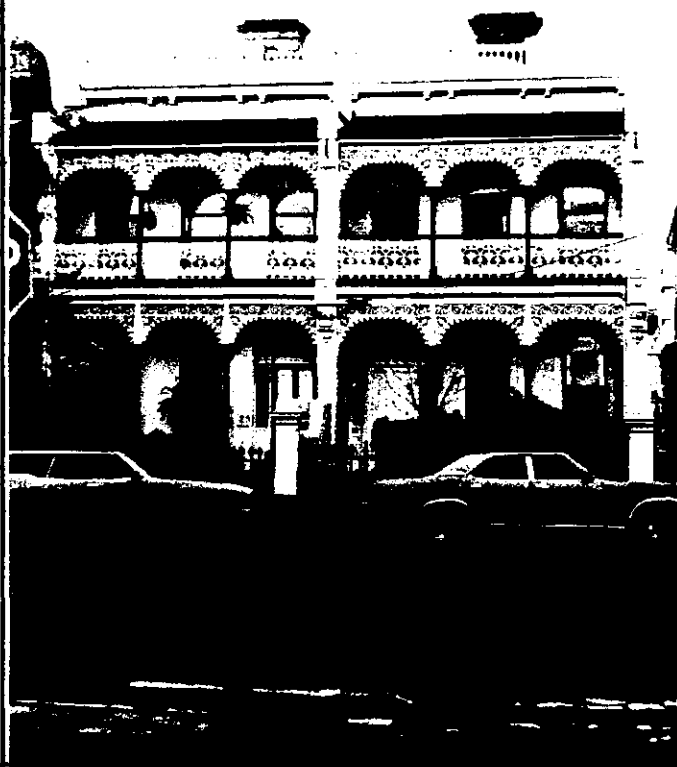
MATERIALS

Walls Cement Render **Roof**

FORM Attached ²⁵ Semi Detached ²⁷

SIGNIFICANT FEATURES

early paint colour scheme	<input type="checkbox"/>	eaves, roof or gable decoration	<input type="checkbox"/>
original unpainted wall finish	<input type="checkbox"/>	intact verandah decoration	<input checked="" type="checkbox"/>
ornamental wall detailing	<input checked="" type="checkbox"/>	early fence	<input checked="" type="checkbox"/>
original doors/windows	<input checked="" type="checkbox"/>	early garden	<input checked="" type="checkbox"/>
intact verandah structure	<input checked="" type="checkbox"/>	other prominent contrib. elevations	<input type="checkbox"/>
original parapet	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original roof form & finish	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original chimneys	<input checked="" type="checkbox"/>		<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Missing Urns	0		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS 25 Interesting early garden

TERRACE HOUSES
25, 27 Erin Street

History and Description

Built in 1884 for Robert Dickens (Richmond merchant) and William Dickens (Richmond clerk) this pair of terrace houses is of a common form but distinguished by richly and skilfully decorated facades. In particular, the piered and balustraded parapets, spoked fanlights, window pediments, and arched windows reflected by balloon arching in the cast iron verandah friezes. The cast iron front fences, and masonry dividing fences complete the composition.

No. 25 retains its early garden plan.

Statement of Significance

A finely detailed and intact pair of 1880's terrace houses.

References

Richmond Council ratebooks.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 49 Erin Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 11.7.84

NEG. FILE 100-10, 11

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Ruled
 Cement Render

Roof

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

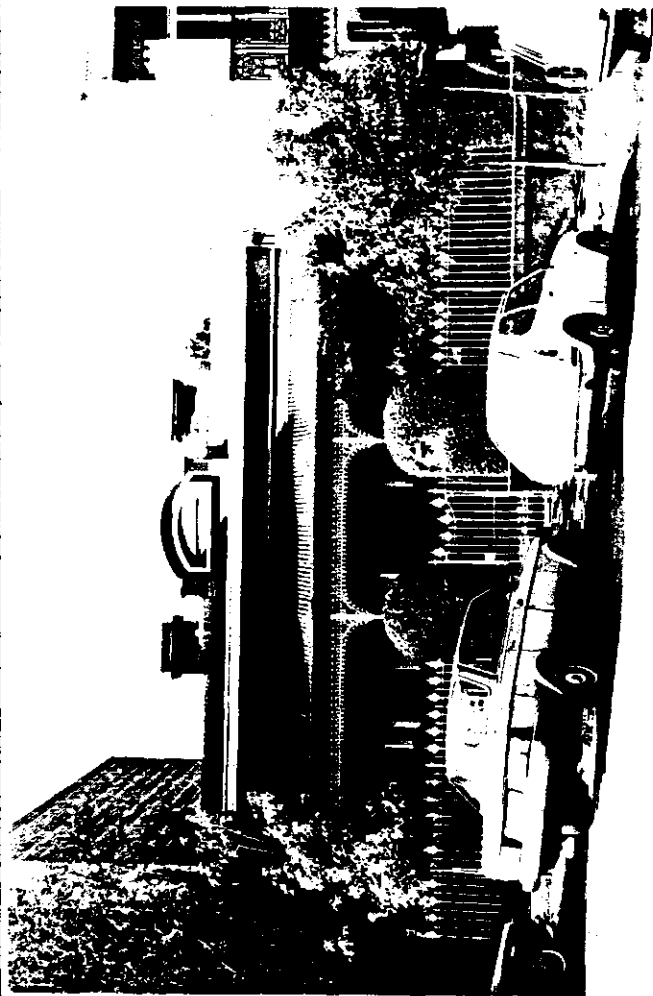
other prominent contrib. elevations

original parapet

Path Tiles

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
49 Erin Street

History and Description

Built in 1884 for H. Cane, Richmond wine and spirit merchant.

Features are the porch-in-antis, stucco architraves, early garden layout and the cast iron fence.

Statement of Significance

A near original example of an 1880's double fronted Victorian terrace house with cast iron fence, encaustic tile path and early front garden layout.

Reference

Richmond Council ratebooks.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 67 Erin Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 11.7.84

NEG. FILE 100-15, 16

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Cement Render

Roof

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
67 Erin Street

History and Description

Built in 1881 for architect John Flannagan (who began by calling himself O'Flannagan). He died in 1885 and his widow continued to occupy the house.

Designed in an Italianate style, the house is distinguished by its bay windows, porch in antis, incised wall decoration and iron palisade fence.

Statement of Significance

An elegant and precisely detailed Italianate house of excellent integrity and of interest as the residence of architect John Flannagan.

References

Richmond Council ratebooks.

LaTrobe Library Journal Vol. 5 No. 20 Dec. 1977, p. 83.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 29 Gipps Street

BUILDING TITLE

TYPE

If not residence Former Warehouse

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 2.8.84

NEG. FILE 37-13

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Cement Render Roof

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original eaves/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys

INTEGRITY RATING

excellent

good

fair

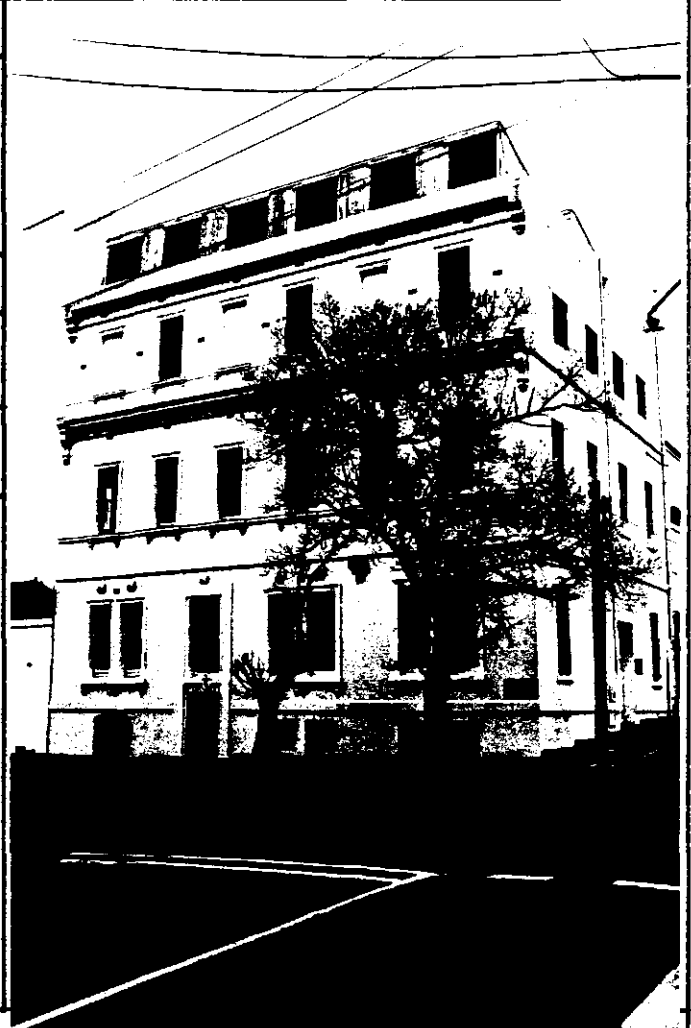
poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		
			Roof Addition	R		
			Roller Door	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS



**FORMER WAREHOUSE
29 Gipps Street**

History and Description

The first documentary evidence of the appearance of this building is the 1896 plan of Richmond prepared by the Board of Works. The rectangular shaped brick building is constructed to the property line on the corner of Gipps Street and Little Clifton Street (now Waverley Street), and was probably constructed in c. 1880. The building is an important Victorian commercial building, and one of the few of its type in Richmond constructed with four floors. The building is simply conceived and decorated, and is a representative of the classical revival style.

Flat headed window openings are emphasized by applied architraves, sills and brackets. Horizontal banding, string coursing and intermediate cornices unify the building horizontally.

Building entrances are recessed beneath prominent architraves accentuating the building openings. The original roof structure has been replaced by a saw tooth roof.

Statement of Significance

This prominent commercial building was most probably constructed as a Warehouse, and is a fine example of the restrained classical revival style. A building of this type is rare in Richmond.

References

M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 106 Gipps Street

BUILDING TITLE **TYPE**
If not residence Drill Hall

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 30.7.84 **NEG. FILE** 35-22

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE Source

MATERIALS

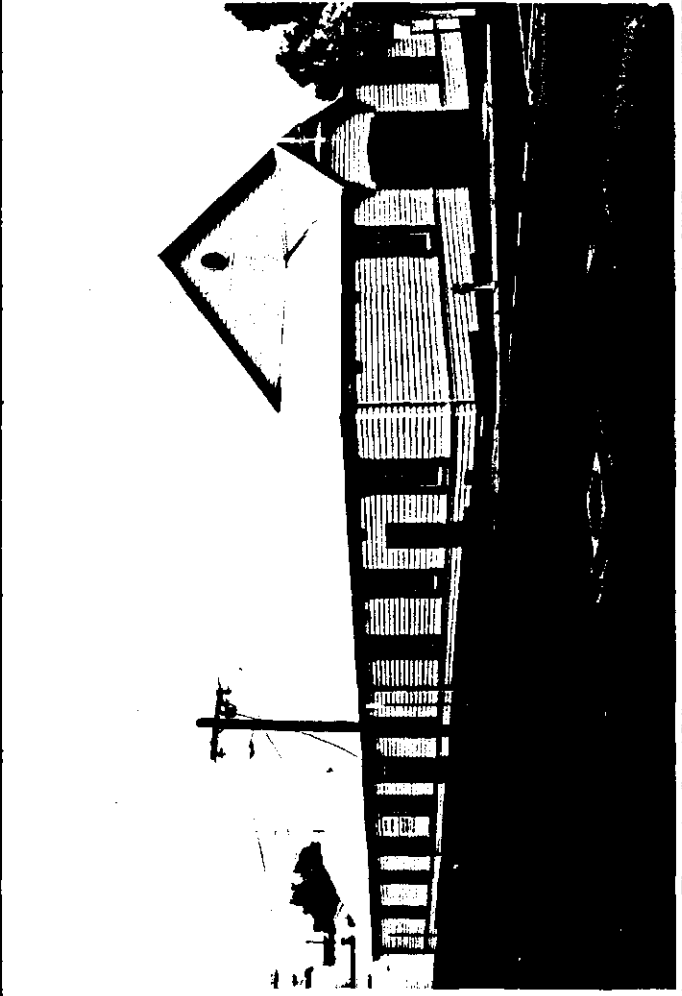
Walls Weatherboard Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input checked="" type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Window Grilles	R	Roller Door	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RICHMOND DRILL HALL 106 Gipps Street

History and Description

The volunteer concept for the defence of Victoria arose from a general concern by the colonists in 1860. Renewed threats of Russian aggression, and the distances from British Military support, coupled with a depletion of Imperial troops in 1860, formed the background to the formation of Metropolitan Corps.

The volunteer corps provided temporary guards for the Treasury Building, Government House, and Powder Magazines. The Richmond Rifle Corps was established during this period, and numbered seventy men, led by David S. Campbell (local Parliamentarian). The Richmond volunteers, were enthusiastic for their defence duties, at one stage remaining on permanent alert for six months. The Richmond corps were continuously called out from midnight to early morning for impromptu drilling, and night route marches.

In 1861, the Richmond Corps were presented with colours, made by the ladies of Richmond. The Richmond Drill Hall was commenced in 1860, with members' donations and public subscriptions.

Early drill halls became obsolete by the 1880's, as more extensive and complex facilities were required. In 1884 the Government took over ownership and management of existing facilities and the Public Works Department became responsible for the construction function. A programme of alterations and additions and new buildings for military units commenced in 1884.

By 1886, plans were drawn up for proposed alterations and additions to the Richmond Drill Hall. Architect for these works was most probably S.E. Bindley. These plans however were not executed until 1891.

In 1896, the Melbourne and Metropolitan Boards of Works plan shows the enlarged timber Drill Hall in Gipps Street extended between Docker Street and Little Docker Street (now Dickman Street).

The Drill Hall is constructed to a rectangular plan, and was executed in timber with a corrugated iron roof. The building is utilitarian in style to house its functions. The external appearance of the building was originally highlighted by decorative barge boards, collar ties and finials.

The building is substantially intact and is repainted in an appropriate early colour scheme.

Statement of Significance

The Richmond Rifle Corps, were an important component of the early Metropolitan Volunteer Corps, of the 1860's. The movement later expanded, and facilities were extended in 1891. This timber Drill Hall is an important reminder of the service of the volunteer defence movement in Richmond.

References

- W. Span, Castlemaine Orderly Room Report for Charge of Annuity, prepared by Department of Housing and Construction, August 1983.
- M.M.B.W. Plan of Richmond, 1896.
- Australian Archives, Richmond Orderly Room, Proposed additions 1886.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 1 Gleadell Street

BUILDING TITLE

TYPE Former Gas
If not residence Inspector's residence

EXISTING DESIGNATION

HBR

NER

NTC

FN. 3996

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 25.7.84

NEG. FILE 99-22
51-29

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Polychromatic
Brickwork

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

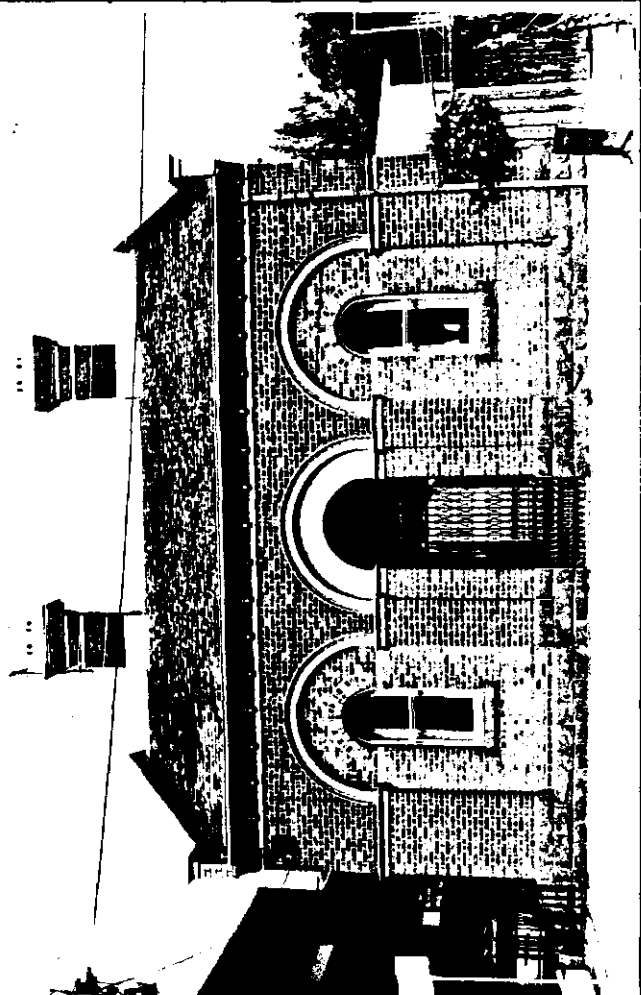
intact verandah structure

other prominent contrib. elevations (sides)

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Door Grille	R		
			Side Gate & Fence	R		
					Exposed Electrical Conduit	R

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER GAS INSPECTOR'S RESIDENCE
1 Gleadell Street

History and Description

Built for the Metropolitan Gas Company in 1883, as the gas inspectors residence, this building is all that remains of the Richmond gasworks.

The Metropolitan Gas Company was formed by the amalgamation in 1878 of The City of Melbourne Gas and Coke Company (est. 1853) which was supplying gas to Richmond by 1858; the Collingwood, Fitzroy and District Gas and Coke Company and the South Melbourne Gas Company.

By 1880 the Company was hiring out gas stoves and by 1939 gas space heating was being widely used in theatres, churches, factories and offices. The Company also pioneered the use of electric arc welding in 1941.

In 1950 the Metropolitan and Brighton Gas Companies merged to form the Gas and Fuel Corporation, the other metropolitan supplier, the Colonial Gas Association elected to retain its independence.

By the end of 1970 the Melbourne metropolitan area had been converted to natural gas and the gas holders dismantled.

The gas inspector's residence is in polychromatic brickwork in a style almost identical to the original town hall, post office and police station complex opposite. It is now owned by the Education Department.

Statement of Significance

This unusually well detailed and constructed residence is all that remains of the Richmond gasworks.

References

- Keating, John The Lambert Flame M.U.P. 1974.
National Trust of Australia (Vic.) F.N. 3996.
Currow Lin ed., Gascor News, Feb. 1978.
Gas and Fuel Corporation.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 6 Grattan Place

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 23.6.84

NEG. FILE 106-16, 17

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Timber

Roof Corr. Iron

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

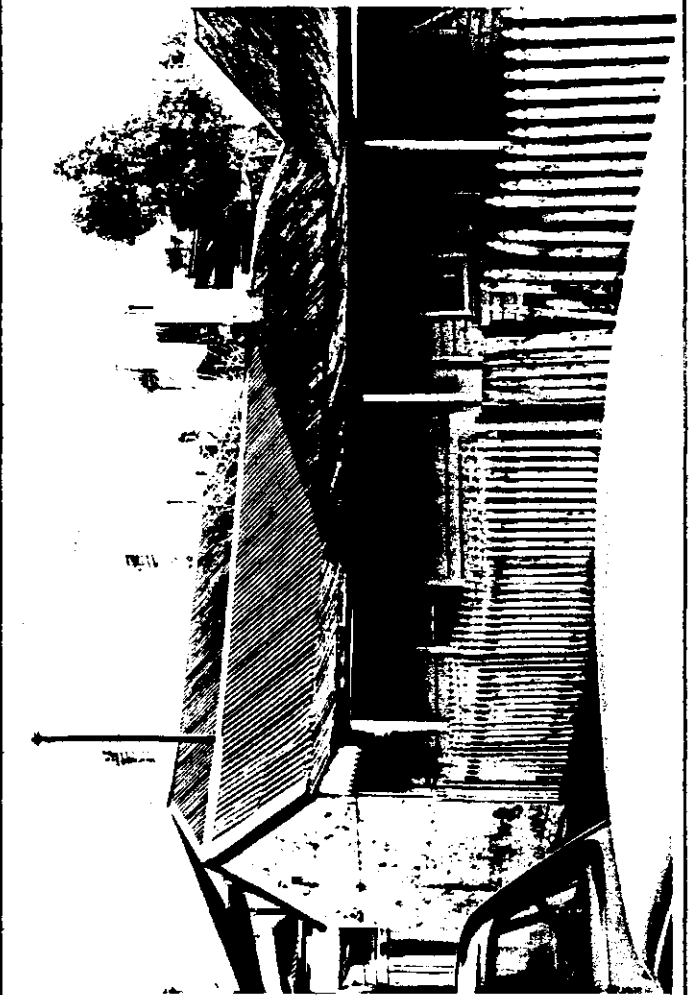
other prominent contrib. elevations

original parapet

V./Spandrel

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Flush panel doors	S		
			Windows on Verandah	S		
			Gutters	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
6 Gattan Place

History and Description

A Victorian weatherboard house with an early projecting side addition that forms a most unusual front courtyard. This unorthodox composition suggests that the house may have originally faced Punt Road, the frontage to Grattan Place originally being the rear of the property.

The owner in 1889 was Ellen Stewart (Widow) of Hawthorn.

Statement of Significance

A Victorian cottage of rare composition that hints at early rural associations.

References

Certificates of Title.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 3 Hull Street

BUILDING TITLE Roeberry House **TYPE** If not residence

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 17.7.84 **NEG. FILE** 59 - 23

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Cement Render Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
	Verandah		Painted Render	RAM	Fence	S
					Airconditioner	R
					Parapet Balustrade	R

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

ROEBERRY HOUSE
3 Hull Street

History and Description

Built in 1861 for Alexander Grant as a residence with eight rooms. It is constructed of stone rendered with stucco in the Italianate style.

An unusual feature of the composition is the contrast between the form of the single storey bay windowed section and the two storey section, suggesting that the former may have been an early addition. The design of the chimney facing Thomas Street is exceptional.

The size of the site does not appear to have altered.

Statement of Significance

A rare and elegant example of an early Italianate suburban residence, and one of the earliest surviving examples in Richmond.

References

Richmond Council ratebooks.



View from Thomas Street, c. 1970.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 13, 15 James Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

R/01/01 NTC

F. 3690

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 15.8.84

NEG. FILE

98-21
74-3

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Bluestone

Roof Iron

FORM

Attached

Semi

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

reconstructed

original parapet

original roof form & finish

original chimneys

INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
	Side Porches					
	Balustrades					
	Gates					

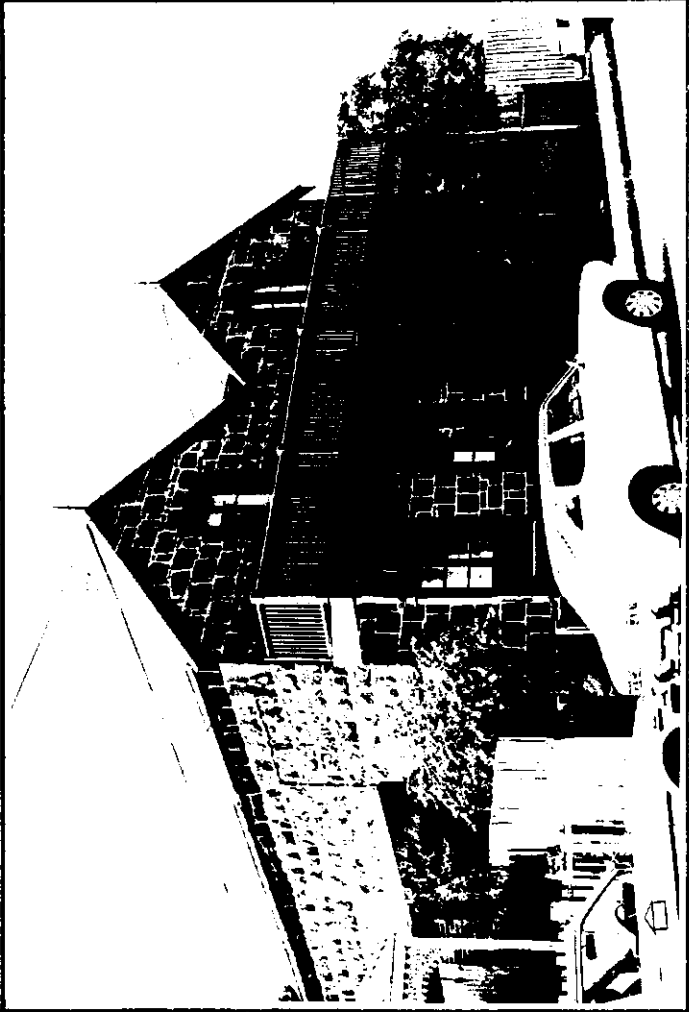
O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS



RESIDENCES
13, 15 James Street

History and Description

Constructed in 1857 of local bluestone for Enaes McKenzie, Richmond's first postmaster. It is a comparatively rare example of an early post gold rush pair of houses deriving from the picturesque Gothic styles of N.S.W. and Tasmania.

The authenticity of the recently constructed verandah is unknown. An early photograph shows no. 15 with a two storey verandah consisting of a curved corrugated iron roof, cast iron frieze and brackets, a trellised first floor balustrade, and a timber picket ground floor balustrade.

The external architraves are stucco and the bluestone is raise-pointed. The French doors and Gothic barge boards are original.

A similar pair of houses built in 1854 can be seen at 266-68 LaTrobe Terrace, Geelong.

Statement of Significance

An 1850's pair of bluestone houses designed in an unusual colonial Gothic style.

References

Register of the National Estate R/01/01.
 Early photograph held at Richmond Historical Society.



Rear View, 1984.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 14 James Street

BUILDING TITLE

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** R/01/02 NTC F.3688

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 15.8.84 **NEG. FILE** 98-23

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE Source

MATERIALS

Walls Rendered Bluestone Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/> partial	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input checked="" type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Fence	S	Verandah Post Bases	R
					Balustrade	R

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
14 James Street

History and Description

Built of local bluestone with brick dressings in 1864 for James Dickson. Dickson founded the Richmond based cordial manufacturing firm James Dickson and Company in 1854. The firm has operated in Melbourne continually for 125 years and still trades under the original title. He was also the patentee of Victorian Eucalyptus Wine.

The two storey house has seven rooms with a single storey verandah, and is enhanced with traditional Italianate details of modest eaves brackets, quoins, and ruled stucco facade. The interior has been altered.

Statement of Significance

An interesting example of an inner suburban 1860's Italianate stone house.

References

Register of the National Estate R/01/02.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 173-177 Lennox Street

BUILDING TITLE Former Livery Stables

TYPE
If not residence Factory

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 18.7.84 **NEG. FILE** 29-30

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE Source

MATERIALS

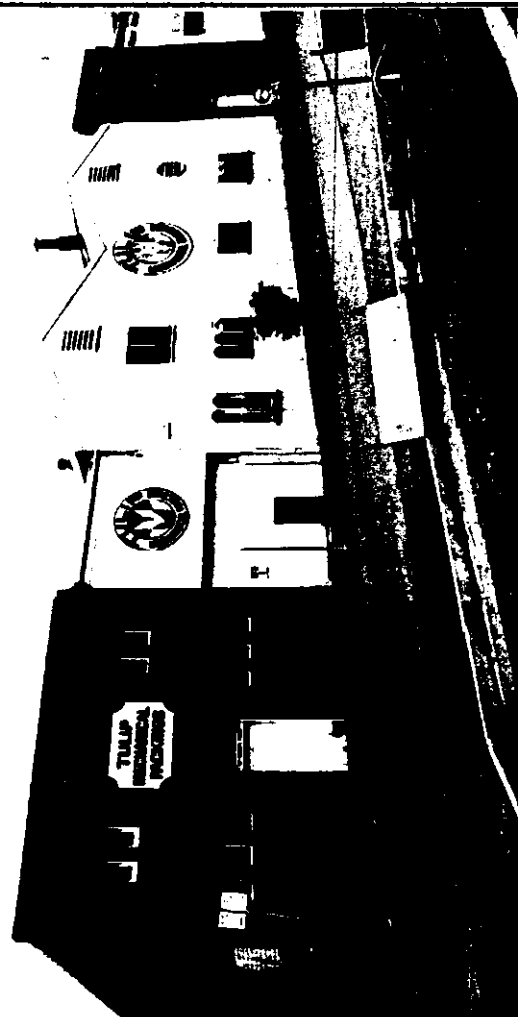
Walls Brick & Iron Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	
original roof form & finish <input type="checkbox"/>	
original chimneys <input type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Opening Changes	0

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER LIVERY STABLES
173-177 Lennox Street

History and Description

Early directories show this site in Lennox Street, as Howell's Livery Stables. The date of construction of the present buildings is alleged as 1884. By 1896 the buildings are shown on the Melbourne and Metropolitan Board of Works map as a central timber structure flanked by two brick structures.

The composition of this group of utilitarian buildings is unusual. The combination of materials and massing of the complex provides an interesting architectural combination. The central buildings are simply composed gable roofed structures without a parapet. The flanking brick buildings unify the complex.

Although one of the central buildings has been altered the complex maintains its overall form.

The Tulip Packing Co. purchased the building in 1941 when it was being operated as a garage/stables by D.P. Kelly. At this date the building had a cobbled floor.

Statement of Significance

This attractively massed combination of brick and corrugated iron buildings is of importance for having been a livery stables.

References

- Sands and McDougall, Melbourne Directory 1862-1873.
M.M.B.W. Plan of Richmond 1896.
Davison, G. Melbourne on Foot, page 90.
Richmond Times special supplement 12.4.1984, page 8.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 182 Lennox Street

BUILDING TITLE Rehilla

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 21.11.84 **NEG. FILE** 118-33

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Render Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input checked="" type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	Patterned terracotta tiles on facade <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Fence	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

REHILLA
182 Lennox Street

History and Description

A twin bayed villa with a porch-in-antis. The unusual feature of the design is the use of finely executed Edwardian details (rough cast render, art nouveau lettering, and terracotta faience) on a building that is otherwise late Victorian in style.

It remains intact except for the fence.

Statement of Significance

A beautifully detailed example of a transitional late Victorian/Edwardian villa.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 195 Lennox Street

BUILDING TITLE **TYPE**
If not residence

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 25.7.84 **NEG. FILE** 18-28

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Cement Render Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Building in Front	R

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
195 Lennox Street

History and Description

This brick residence was constructed in 1866 for Thomas Stillman, a medical practitioner. Stillman retained the property for several years, before it was occupied by Alfred Hill from c. 1873-1880. The next occupier was George Hill, who reobtained the property into the 1890's.

By 1896 the unusually composed building is shown on the Melbourne and Metropolitan Board of Works plan. The building is set back on its allotment, with a projecting bay window to the front facade and a side verandah.

The appearance of the building today maintains this early layout. The main facade of the building is one room width, with a side entrance behind the front room. Beyond the verandah, the building extends to two rooms across. The main facade is well composed with a bay window arrangement at ground floor complete with a small balcony, and a first floor tripartite window in the Italianate style. A concave verandah roof form completes the building. The main roof follows a simple hipped form with projecting eaves and brackets.

Statement of Significance

An unusually conceived and intact 1860's Italianate residence.

References

Sands, Melbourne Directory 1866-1889.
M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 221 Lennox Street

BUILDING TITLE Orwell Cottage

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** R/01/10 **NTC** FN. 1529

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 25.7.84 **NEG. FILE** 18-31

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

Walls Timber Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Fence	S
					Render on Front Wall	O

O = reinstate original designs . S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

ORWELL COTTAGE
221 Lennox Streets

History and Description

Allegedly built in 1848 and certainly pre 1855, 'Orwell cottage' is a single storey attic residence timber framed and lined with weatherboards. The French doors and dormer windows are features. The concave verandah roof and curved verandah beams are characteristic of the Early Victorian period.

If built in 1848 'Orwell Cottage' is probably the oldest surviving building in Richmond. The original owner is unknown, but Captain Valentine Wright was an early occupant for 30 years.

The front wall has been recently cement rendered and the chimney tops given a late Victorian treatment. The interior with timber doors, lining boards and restrained fireplace and joinery details is notable and well preserved.

Statement of Significance

A substantially intact Early Victorian cottage with attic, possibly the oldest surviving building in Richmond.

References

National Trust of Australia (Vic.) F.N. 1529.
National Estate Register citation.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 2 Miller Street

BUILDING TITLE Avalon

TYPE

If not residence

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 20/11/84 **NEG. FILE** 118-20

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

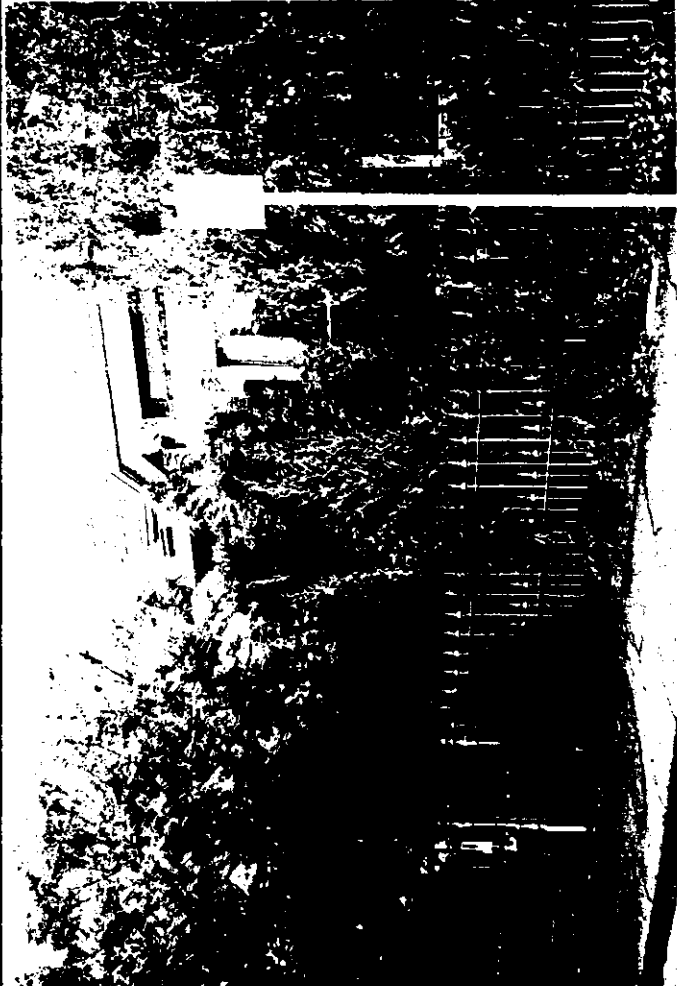
Walls Brick Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	V/Floor tiles <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	Encaustic tiles on facade <input checked="" type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

AVALON
2 Miller Street

History and Description

A late Victorian villa with particularly fine detailing in the cast iron verandah frieze which is Edwardian in style, the carved front door jambs and panel mouldings, the timber verandah pediment, glazed wall tiles, Corinthian capitals on the window piers and the naturalistic eaves brackets. The cast iron fence is also notable for its detail.

An 1881 date is impressed in the cast iron verandah frieze, which is surprisingly early given the Edwardian design. An earlier timber section exists at the rear.

The first owner was the Hallet family, monumental masons. Their business still operates at 25 Bridge Road.

Statement of Significance

A late Victorian villa distinguished by its exceptional decorative detailing.

References

Mrs. Rolfe, present owner.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 2 Miller Street

BUILDING TITLE Avalon

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 20/11/84 NEG. FILE 118-20

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

Walls Brick Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	V/Floor tiles <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	Encaustic tiles on facade <input checked="" type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

AVALON
2 Miller Street

History and Description

A late Victorian villa with particularly fine detailing in the cast iron verandah frieze which is Edwardian in style, the carved front door jambs and panel mouldings, the timber verandah pediment, glazed wall tiles, Corinthian capitals on the window piers and the naturalistic eaves brackets. The cast iron fence is also notable for its detail.

An 1881 date is impressed in the cast iron verandah frieze, which is surprisingly early given the Edwardian design. An earlier timber section exists at the rear.

The first owner was the Hallet family, monumental masons. Their business still operates at 25 Bridge Road.

Statement of Significance

A late Victorian villa distinguished by its exceptional decorative detailing.

References

Mrs. Rolfe, present owner.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 2, 4, 6 Moorhouse Street

BUILDING TITLE Arthurville, Florenceville

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE 11.7.84 **NEG. FILE** 25-11

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Render Roof Iron

FORM

Attached Semi Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations 2 <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Verandah Tiles <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

TERRACE HOUSES
2, 4, 6 Moorhouse Street

History and Description

A distinctive group of terrace houses built on an 1881 subdivision of William Highett's Crown allotment in c. 1888, notable for their intactness, elaborate detailing and flamboyant parapets with Mannerist pediments. The design is indicative of the work of architect Norman Hitchcock (compare with 70 Albert Street, East Melbourne 1883).

Statement of Significance

A richly and competently decorated group of late Victorian terrace houses.

References

Richmond Council ratebooks.
East Melbourne Conservation Study, 1984.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 3 Portland Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

FN. 4936

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 1.12.84

NEG. FILE 120-10

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Ruled Render

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early Picket Fence

original doors/windows

early garden

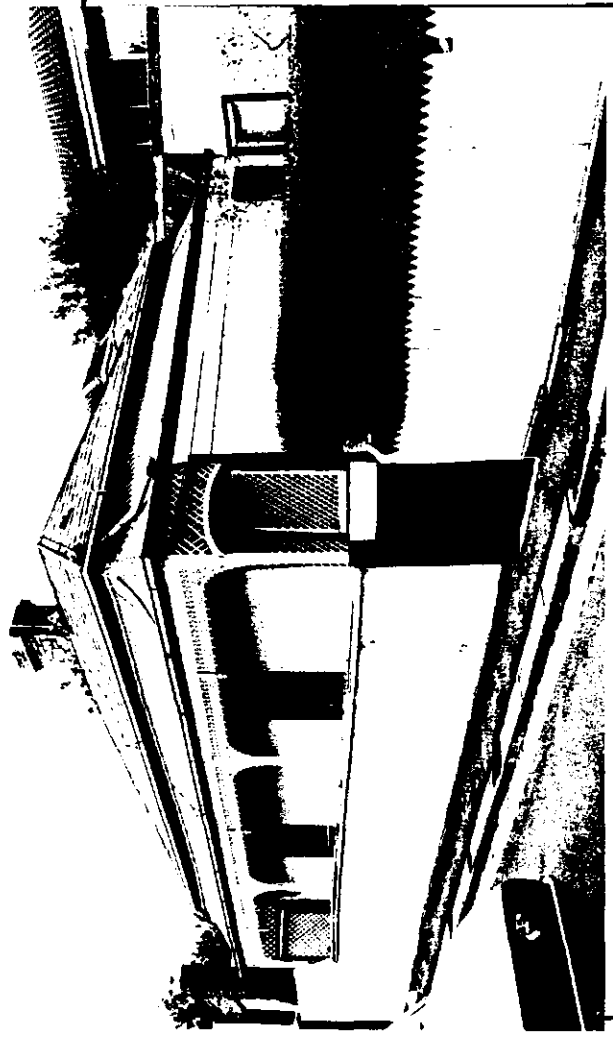
intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
	Ver. Posts		Ver. Infill	R		
			Side Additions	R		
			Corr. Iron Balustrade	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Cast iron is late Victorian. Asbestos cement outhouse is built around early kitchen chimneys.

RESIDENCE
3 Portland Street

History and Description

Built prior to 1855, this house was occupied by the architect, surveyor and artist Robert Russell. It is unknown whether it was built for Russell.

Russell was appointed surveyor to the Port Phillip settlement in 1836, his first surveys being in the Geelong and Werribee areas. He produced a topographical feature survey of the Melbourne site on which Robert Hoddle drew his grid plan, after he superseded Russell as surveyor-in-charge in 1837. Russell went to Sydney, then returned to Melbourne in 1838 as clerk of works with architectural responsibilities until he was dismissed in 1839. He then went into private practice as an architect and surveyor.

His only known surviving work is the St. James Old Cathedral (1839-42, consecrated in 1853) now located in King Street.

The famous first views of the Melbourne settlement from 1837 onwards were lithographed by Russell and he produced painted replicas of them until the last decade of his life. He achieved some local fame as a connoisseur of old-master paintings and as a print collector.

Russell moved around frequently having also lived in Fitzroy and East Melbourne. His last home was a cottage (demolished) at 283 Burnley Street where he died in 1900.

The form and detail of no. 3 Portland Street is Early Victorian. It's cramped siting was caused by Portland Street being created in the 1880's.

The roof form of two parallel hipped roofs joined by a smaller hipped roof is most unusual. It is also unusual for a pre 1855 cottage to be built in stuccoed brick with a slate roof.

Statement of Significance

A pre 1855 stuccoed brick cottage of unusual form, at one time the residence of the surveyor/architect Robert Russell.

References

Australian Dictionary of Biography 1788-1850, pp. 409-11.
 Magee, John Steel. Municipal Map of Richmond, 1855.
 National Trust of Australia (Vic.) F.N. 4936.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 329 - 343 Punt Road

BUILDING TITLE Shakespeare Terrace

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 21.11.84 **NEG. FILE** 12-29

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

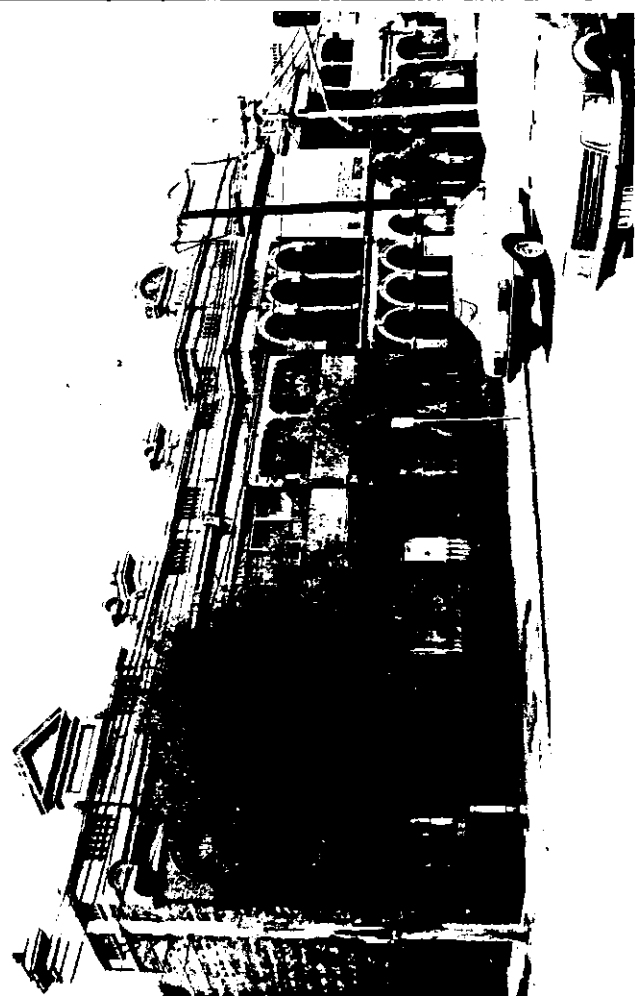
Walls Brick Roof Corr. Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	saves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Encaustic V./Tiles <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
329			Painted Facade	RAM		
331					Verandah Infill	O
337			Painted Facade	RAM	Sign	O
341			Door	O	Sign	R
343					New Facade	O

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

SHAKESPEARE TERRACE 329-343 Punt Road

History and Description

Tenders were announced on 25 August 1888 for the erection of a terrace of eight houses in Punt Road, Richmond. Architect for the project was John Fredrick Gibbins. The terrace was erected by June 1889, when the building was illustrated in the Australasian Builder and Contractors News. By this time the building was called "Shakespeare Terrace", and was described as a new terrace of eight two storey houses in Punt Road, Richmond, near the station and opposite the Cricket Club.

A prominent location has always been a factor in the significance of this building. The building is constructed on the corner of Tanner Street and Punt Road and forms the termination of Brunton Avenue.

J.F. Gibbins, architect for the terrace, was responsible for several buildings in Richmond, including the Tabernacle, and the Rising Sun Hotel.

The appearance of the building, as constructed, is impressive. The two central buildings and the end flanking buildings project to form arched colonnades, while the intermediate buildings differ in verandah treatments. The building is sophisticatedly detailed and features polychromatic brickwork. The composition is completed by encaustic verandah tiles, and cast iron fencing.

The end terrace has been defaced, by removal of the verandah and refronting of the building. In general however the terrace maintains a high degree of intactness including garden elements.

Statement of Significance

'Shakespeare Terrace' is an important residential building in Richmond, notably for its prominent location, and fine architectural detailing.

References

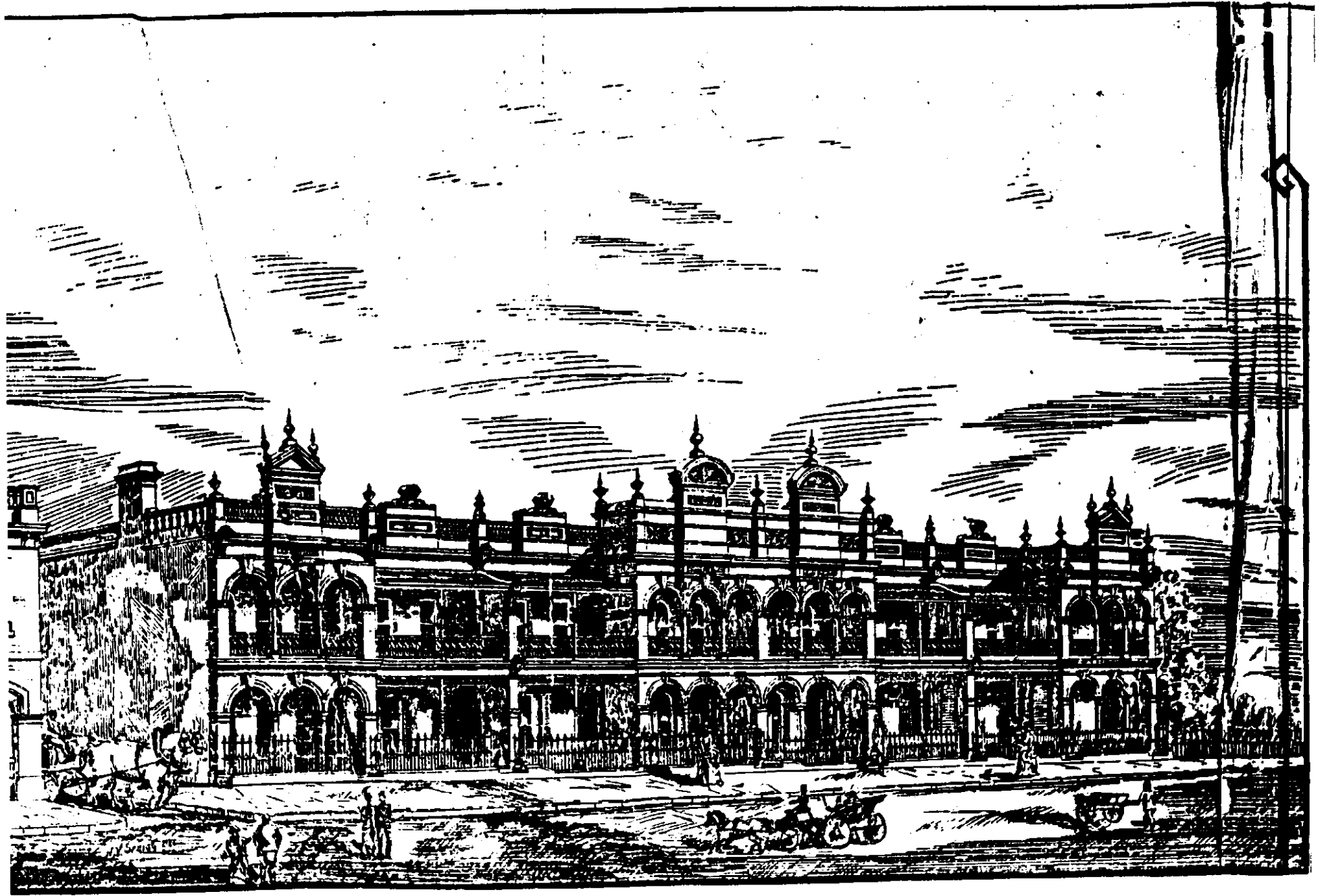
Australasian Builder and Contractors News 25 August 1888, 29 June 1889.

University of Melbourne Architects Index, Sequence I.

Melbourne Directory 1887, 1892.

Richmond Historical Society. Photograph of Shakespeare Terrace, part of view of Railway bridge from Punt Road.

M.M.B.W. Plan of Richmond 1896.



'Shakespeare Terrace', 1889
(Australian Builder & Contractors News, June 1889.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Richmond Terrace

BUILDING TITLE St. Stephen's Hall

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** **NTC** FN.2155

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-24

PERIOD

Early Victorian Blues Edwardian
 Victorian
 Late Victorian Brick

CONSTRUCTION DATE Source

MATERIALS

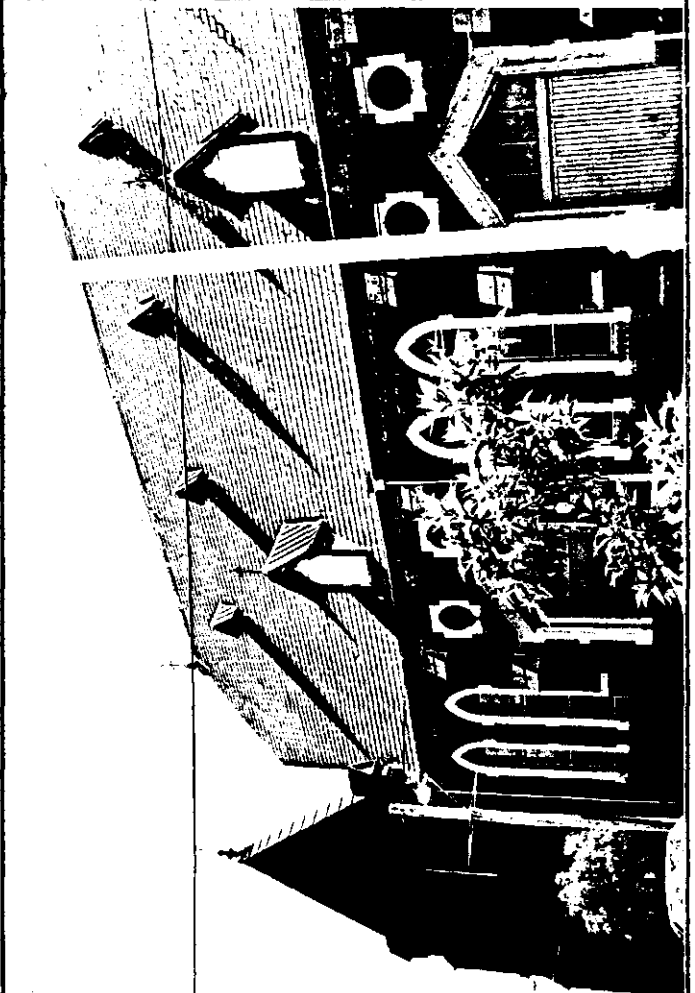
Walls Brick/Bluestone Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme	<input type="checkbox"/>	eaves, roof or gable decoration	<input checked="" type="checkbox"/>
original unpainted wall finish	<input checked="" type="checkbox"/>	intact verandah decoration	<input type="checkbox"/>
ornamental wall detailing	<input checked="" type="checkbox"/>	early fence	<input type="checkbox"/>
original doors/windows	<input checked="" type="checkbox"/>	early garden	<input type="checkbox"/>
intact verandah structure	<input type="checkbox"/>	other prominent contrib. elevations	<input checked="" type="checkbox"/>
original parapet	<input type="checkbox"/>	Dormer windows with flat iron roofing	<input checked="" type="checkbox"/>
original roof form & finish	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original chimneys	<input type="checkbox"/>		<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
	Doors & Highlights					

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

ST. STEPHEN'S HALL
Richmond Terrace

History and Description

This building was constructed in three stages.

The bluestone section at the west end was part of the St. Stephen's Church school, and was built in 1858 to the design of architect W. Taylor as an addition to an 1853 timber school building.

At the east end is the Jubilee Hall built of brick in 1903 to commemorate the 50th anniversary of the establishment of St. Stephen's Church.

In 1912 the timber section of the school was demolished and Perk's Hall was constructed as a link between the Jubilee Hall and the church school. It was built to celebrate the Diamond Jubilee and was named after the first incumbent priest at St. Stephens, Charles Perks. Both halls were constructed by Clements Longford who was a member of the congregation.

Statement of Significance

An interesting group of ecclesiastical buildings that terminate the Docker Street vista and stand at the entry to the west front of St. Stephen's Church.

References

St. Stephen's 80th Anniversary brochure, 1931.
Herald, 10th April 1857, tender notice.
National Trust of Australia (Vic.) F.N. 2155.
Vicar of St. Stephens.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 57 Richmond Terrace

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 21.11.84

NEG. FILE 11-35

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Brick/Render

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

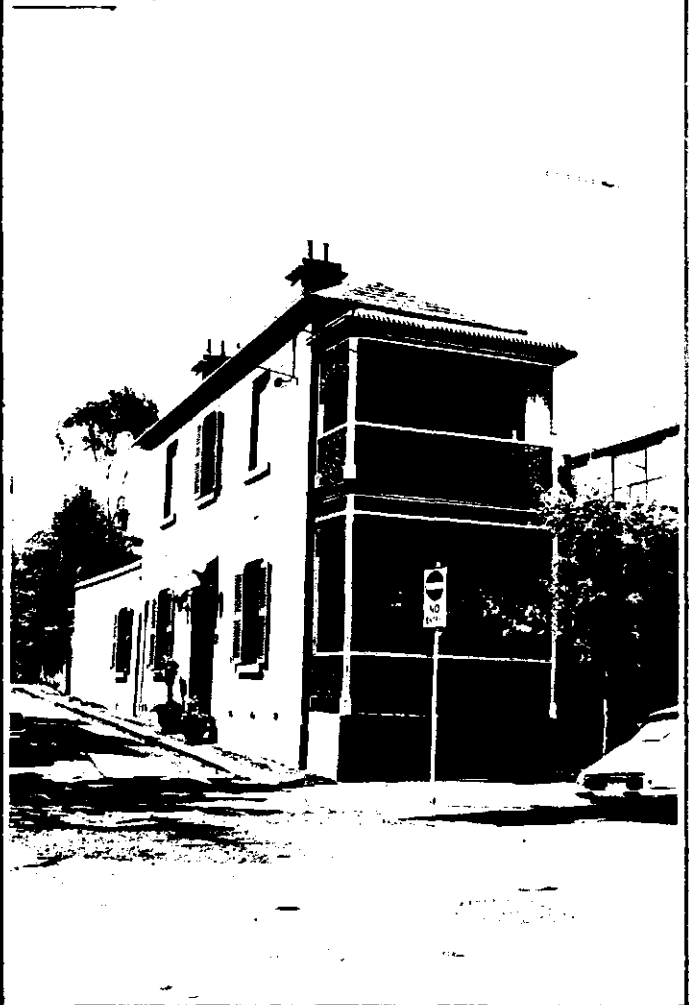
intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

RESIDENCE
57 Richmond Terrace

History and Description

A particularly narrow 2 storey house, with a parapetless roof, side entry and blind windows at first floor level to balance the side elevation.

It was most probably built in the 1870's. The cast iron and bull nose verandah roof are late Victorian in style.

Statement of Significance

An unusually narrow, nicely composed corner house that is an important element in the Richmond Terrace streetscape.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 33 Rotherwood Street

BUILDING TITLE Rotherwood

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 20.6.84

NEG. FILE 1-18

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Render Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Fence	S		
			Steel Windows.	O		
				O		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Building is exhibiting signs of cracking, and is possibly being undermined by eucalypts.

ROTHERWOOD
33 Rotherwood Street

History and Description

'Rotherwood' was constructed sometime after 1855 as it does not appear on the 1855 Magee map of Richmond. By 1861, the building was occupied by J.F. Matthews, shown in the directories to be an architect and surveyor. Prior to this date Matthews is registered at premises in Elizabeth Street and Collins Street. J.F. Matthews maintained his association with 'Rotherwood' until after 1884.

By 1896, the form of the building is shown on the Melbourne and Metropolitan Board of Works' map. It is constructed to a rectangular plan, with a projecting front wing and verandah extending along the building facade.

'Rotherwood' is designed in the Gothic revival style, favoured generally for ecclesiastical works, and in the mid Victorian period for residential work. Gothic style details include the high pitched roof form, parapeted gable ends, concave verandah roof and casement sashes.

Statement of Significance

'Rotherwood' is a rare example of a Victorian Gothic revival style residence in Richmond.

References

State Library of Victoria Picture Collection.
Sands and McDougall, Melbourne Directory 1861-1883.
Port Phillip Directory, 1856-1858.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 105 Swan Street

BUILDING TITLE National Bank of Australasia

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 CONSERVATION AREA

SURVEY DATE 16.8.84 NEG. FILE 35-13

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

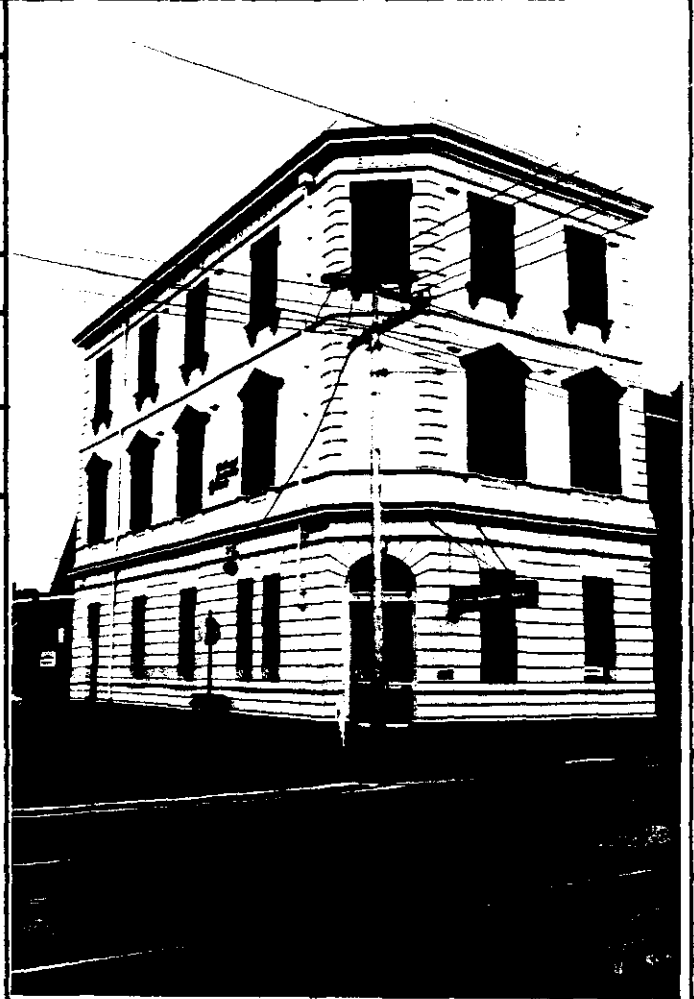
Walls Cement Render Roof

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows upper <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Painted Render	RAM		
			Signage	S		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

**NATIONAL BANK OF AUSTRALASIA
105 Swan Street**

History and Description

This Richmond branch of the National Bank of Australasia was opened in 1884, and tenders for the erection of the current premises were announced several years later in October 1886. Architect for the building was Albert Purchas, a prominent early Melbourne architect. Purchas was also a surveyor, and early commissions were the surveys for St. Kilda Road and Sydney Road.

Many of his architectural commissions were undertaken in partnership with Charles Sawyer. Purchas was also responsible for the 1856 Melbourne Savings Bank, and several commissions for the Church of England.

The bank building is on a prominent corner location, and has a splayed corner entrance. It is an imposing three storey structure, and few suburban banks were erected at this scale. The simply articulated building is elegantly proportioned with banded rustication at ground floor level continued throughout the structure as quoining. A grand floor and top cornice, in combination with string coursing provide a horizontal focus. Architectural features are the window architraves and pediments. The building retains a high degree of integrity, apart from the removal of the projecting first floor corner window.

Statement of Significance

This suburban branch of the National Bank of Australasia was erected in 1886-7 by the notable bank architect Albert Purchas. Its imposing three storey height, prominent corner location, and fine architectural detailing are important components of the building's significance.

References

B. Trethowan, A Study of Banks in Victoria 1851-1939.
Architects Bibliography File, State Library of Victoria.
National Bank Archives.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 148 Swan Street

BUILDING TITLE Dimmey's **TYPE** If not residence Department Store

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B ^{Tower} C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 15.8.84 **NEG. FILE** 70-32

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Brick Roof Iron

FORM

Attached Semi Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original 1st Flr. doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good ^{Tower} fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Shopfronts	0		
			Painted Brickwork	RAM		
			Verandah	0		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

DIMMEY'S
148 Swan Street

History and Description

Dimelow and Gaylard was first established in Geelong in 1853. Stores were later opened in other towns. In 1906 their Richmond store, a late Victorian structure, was burnt out.

The new store was erected in 1907 to the design of architects H.W. & F.B. Tompkins, the builder being Robert McDonald.

The building is in a plain Edwardian style, but its spectacular clock tower capped with a copper ball, built between 1908 and 1916, dominates Swan Street and is Richmond's best known landmark.

In 1912 the store's name was changed to Dimmey's Model Stores and was listed as drapers, importers and manufacturers.

Statement of Significance

Dimmey's is significant because of its spectacular tower and ball which are strongly identified with Richmond.

References

Richmond Council Builders & Owners Index.
Lecture given at Carringbush Library, 24.3.1981.
Mrs K. Smith, Porepunkah, great grand-daughter of Dimelow.



Dimelow & Gaylard after the fire in 1906.
(Richmond Historical Society.)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 216 Swan Street

BUILDING TITLE State Bank **TYPE** If not residence Bank

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 15.8.84 **NEG. FILE** 74-31

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE Source

MATERIALS

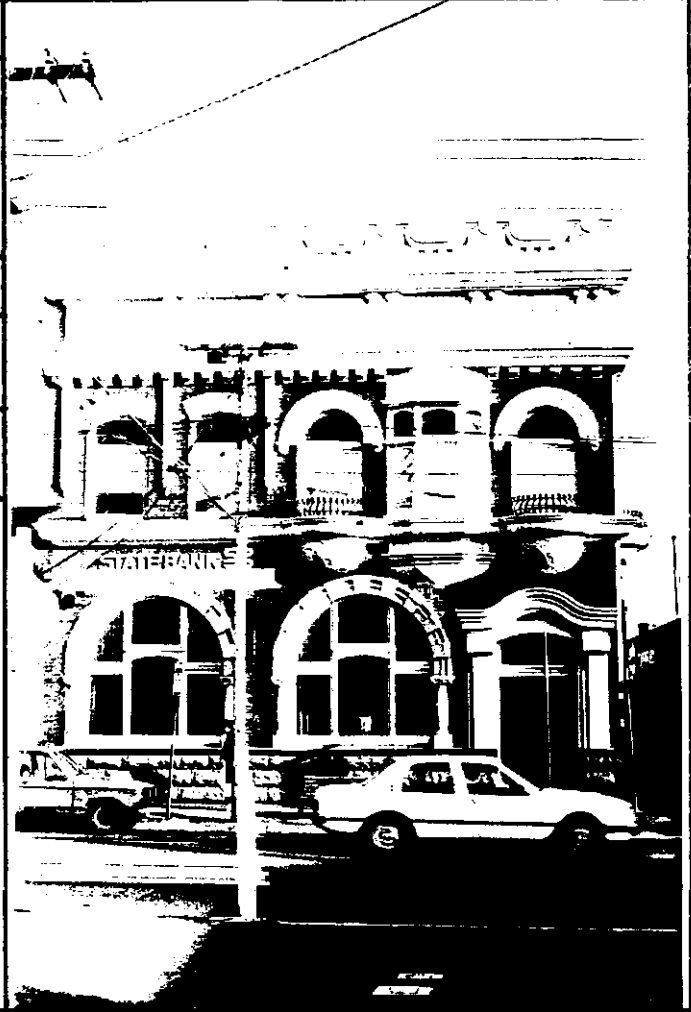
Walls Brick Roof

FORM

Attached Semi Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations Side & Rear <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Door	0		
			Sign	0		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

STATE BANK
216 Swan Street

History and Description

Built in 1907 for the Savings Bank of Victoria by Reynolds Bros. of 120 Rose Street, Fitzroy to the design of architects Billingson & Peck.

It is an excellent example of Edwardian commercial architecture, featuring an oriel window, balconettes, bluestone base walling, and art nouveau stucco decoration on the parapet.

Statement of Significance

A finely composed Edwardian bank with notable architectural features.

References

Richmond Council Builders & Owners Index.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 232-234 Swan Street

BUILDING TITLE

TYPE

If not residence Shops

EXISTING DESIGNATION

HBR

NER

NTC F.2158

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 15.8.84

NEG. FILE 103-19
74-25

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Render

Roof

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows upper

early garden

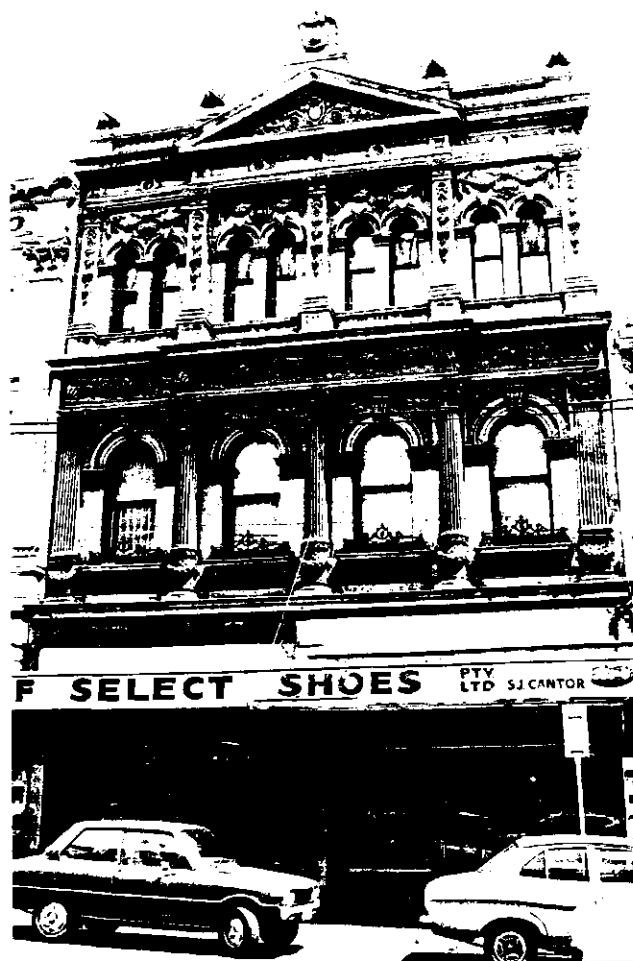
intact verandah structure

other prominent contrib. elevations rear

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent good

fair

poor

upper floors

ground floor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Verandahs	0
					Shopfronts	0/S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

SHOPS
232-234 Swan Street

History and Description

An unusual three storey brick and stucco pair of shops designed in a boom style classicism characterised by an innovative use of classical motifs and exuberant ornament. It was probably built during the late 1880's.

The bold use of classical elements suggests it may be the work of Richmond architect William Woolf whose best known Richmond works are Lalor House at 293 Church Street and the Council Club Hotel in Swan Street.

The verandahs and shopfronts have been altered, but the original yellow ochre wall wash remains.

Statement of Significance

A rare example of a pair of small shops designed in a boom style classicism, completely intact above verandah level.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 240 Swan Street

BUILDING TITLE M. Ball & Co. **TYPE** Shops
If not residence

EXISTING DESIGNATION HBR **NER** **NTC** FN. 1790

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 2.10.84 **NEG. FILE** 105-6,7

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE _____ **Source** _____

MATERIALS

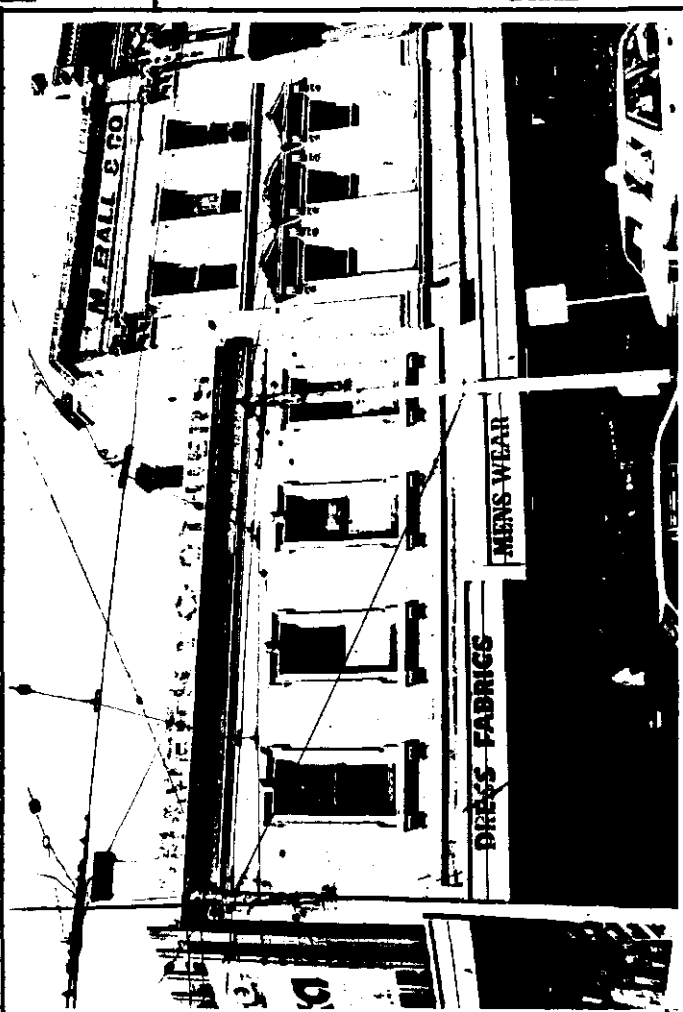
Walls Render Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme	<input type="checkbox"/>	eaves, roof or gable decoration	<input type="checkbox"/>
original unpainted wall finish	<input type="checkbox"/>	intact verandah decoration	<input type="checkbox"/>
ornamental wall detailing	<input type="checkbox"/>	early fence	<input type="checkbox"/>
original 1st Floor doors/windows	<input checked="" type="checkbox"/>	early garden	<input type="checkbox"/>
intact verandah structure	<input type="checkbox"/>	other prominent contrib. elevations	<input checked="" type="checkbox"/>
original parapet	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original roof form & finish	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original chimneys	<input checked="" type="checkbox"/>		<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Shopfronts	S	Verandah	0
					Signs at 1st Floor	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS Interior retains aerial cash handling system
Part of parapet missing on 2 storey section.

M. BALL & CO.
240 Swan Street

History and Description

This corner store is a Richmond landmark. It is a combination of restrained two and three storeyed buildings. The two storey section probably dates from the 1860's, the three storey section from the 1870's.

Internally a cleave storey section, some original counters and an aerial cash conveyor makes this an interesting building. The aerial cash conveyor is the only remaining one in the metropolitan area. A couple still exist in country stores.

The advertising sign on the corner facade at first floor level detracts strongly from the external appearance.

The site has been occupied by drapers since 1871, firstly by Snell & Co., then Moore & Co., and since 1926 by M. Ball & Co.

Statement of Significance

A Richmond landmark used as a drapery since 1871, retaining some original shop fittings and a now rare aerial cash conveyor.

References

Directories.
Early streetscape photographs.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 250 - 252 Swan Street

BUILDING TITLE Former Whitehorse Hotel

TYPE Offices
If not residence

EXISTING DESIGNATION HBR **NER** **NTC** F.2158

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.7.84 **NEG. FILE** 98-13
16-23

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Cement Render Roof Slate

FORM

Attached Semi Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input checked="" type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Roughcast rendered side & rear walls	RAM
			Podium	R		
			Door	S		
			Metal Fascia	O		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER WHITEHORSE HOTEL
250 - 252 Swan Street

History and Description

Built of bluestone between 1849 and 1855, this building was operated as the Whitehorse Hotel by John Heaton until 1870.

The pilasters and parapet details are characteristic of the 1830's N.S.W.'s Regency work of architects John Verge and Henry Ginn.

Internally, the building has been gutted. The ground floor doorways have been rearranged and the portico probably dates from the 1930's. There was originally a courtyard at the rear surrounded by outbuildings.

Statement of Significance

A rare example of an early 1850's stone commercial building designed in a colonial Regency style.

References

Magee map, 1855.
Richmond Council ratebooks.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 9 Union Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 22.11.84

NEG. FILE

111-21
108-16

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Timber

Roof

Corr. Iron

FORM

Attached

Semi

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

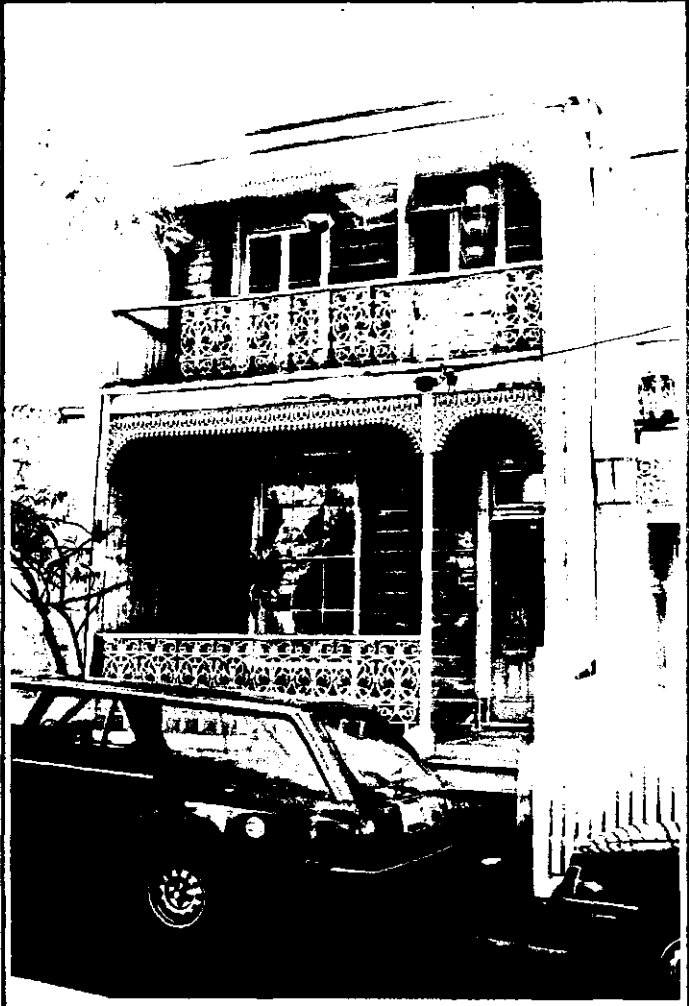
other prominent contrib. elevations

original parapet

Timber Verandah end

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

RESIDENCE
9 Union Street

History and Description

This building was constructed in the Union Street development undertaken by the Union Building Society. The construction date of this timber residence is not known, but appears to have been constructed in c. 1879. The building was possibly tenanted from an early period, as it frequently recorded a change of occupancy.

The double storey timber building is one of the few buildings remaining of its type in Richmond. The building exhibits a high degree of integrity as evidenced by original windows and doors, in particular the first floor French doors, verandah structure and cast iron decoration. An arched side verandah spandrel with timber boarding is also original.

In 1886 the building was shown on the Melbourne and Metropolitan Board of Works map. The building was constructed almost to the street alignment with a verandah extending across the front facade.

Statement of Significance

This double storey timber residence is one of the few buildings remaining of its type in Richmond maintaining a high degree of integrity.

References

- M.M.B.W. Plan of Richmond 1896.
Sands and McDougall, Melbourne Directory 1877-1883.
National Trust of Australia (Victoria) File No. 5362.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS The Vaucluse

BUILDING TITLE F.C.J. Convent

TYPE
If not residence Convent

EXISTING DESIGNATION HBR **NER** **NTC** FN.3507

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-14,15

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Brick Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	Grotto <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Fence on Vaucluse	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

F.C.J. CONVENT
The Vacluse

History and Description

In 1882 at the invitation of the Jesuit Fathers the Faithful Companions of Jesus established themselves on the north side of The Vacluse in buildings purchased by the Fathers.

In 1901 the Convent building was erected by Clements Langford to the design of G.W. Vanheems.

It is built of red brick with cement dressings and gothic windows. The interiors are notable. The rear on Darlington Parade has been altered and added to. A stone grotto built in 1892 remains in the garden.

Statement of Significance

A beautifully detailed Edwardian building, forming the centre piece to the Faithful Companions of Jesus complex.

References

Annals of Catholic Church in Victoria, 1897.

O'Connor, Sister Clare. Faithful Companions of Jesus Sisters in Australia, Melb. 1983.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS The Vaucluse

BUILDING TITLE F.C. J. Catholic School

TYPE
If not residence Secondary School

EXISTING DESIGNATION HBR NER NTC FN.3507

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-12

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

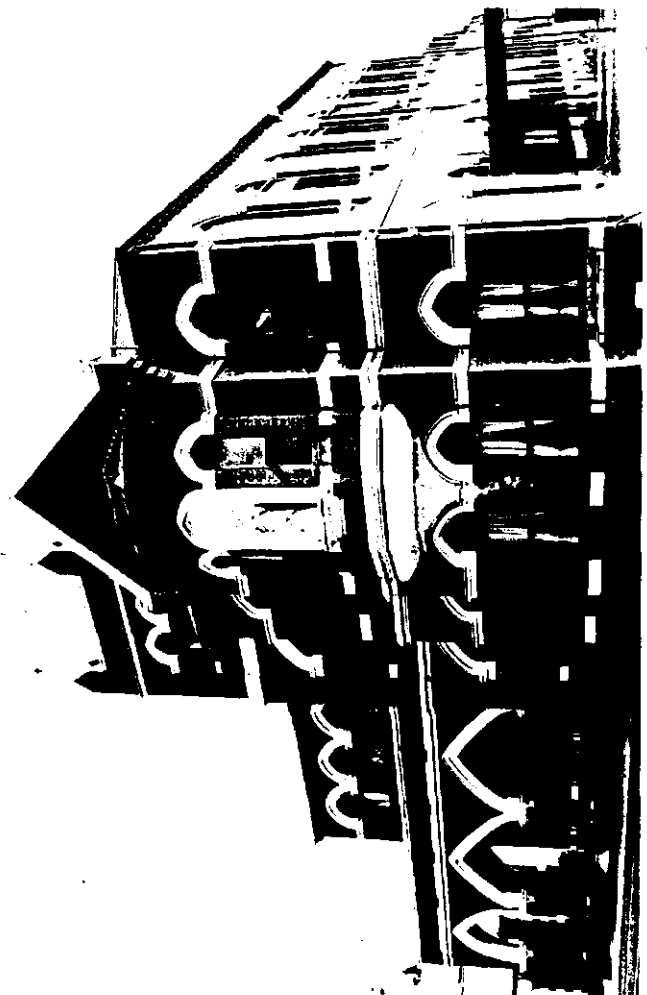
Walls Brick Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Ver. Flr. Tiles <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Fence on Vaucluse	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

**F.C.J. CATHOLIC SCHOOL
The Vaucluse**

History and Description

Built in 1904 as a Catholic College run by the Faithful Companions of Jesus Sisters.

The architect was G.W. Vanheems.

It is constructed of red brick with cement dressings in an Edwardian style. It is designed as an asymmetrical composition with a projecting bay, tower over the entry and arcade to the side.

Unsympathetic additions have been made to the rear facing onto Darlington Parade. The pivoted window sashes are unusual. The bold oriel window is a feature.

Statement of Significance

An imposing school building carefully designed to complement the adjacent Convent building.

References

O'Connor, Sister Clare. Faithful Companions of Jesus Sisters in Australia, Melb. 1983.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS The Vaucluse

BUILDING TITLE Gatehouse to F.C.J. Convent **TYPE** If not residence

EXISTING DESIGNATION HBR **NER** **NTC** FN. 3507

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-17

PERIOD
 Early Victorian Edwardian
 Victorian
 Late Victorian

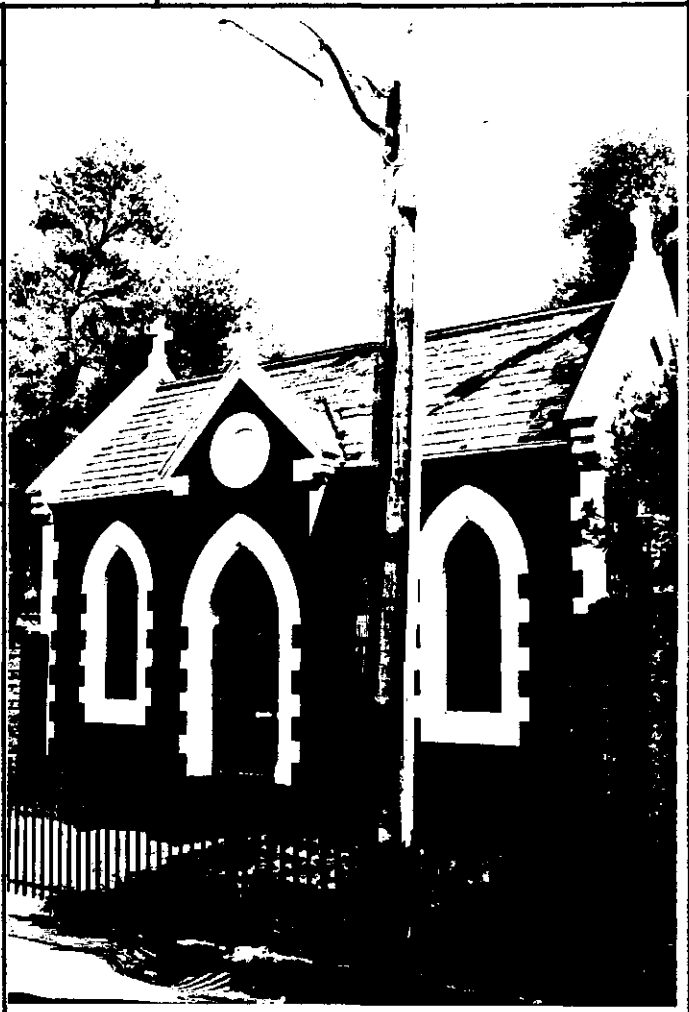
CONSTRUCTION DATE **Source**

MATERIALS
 Walls Brick Roof Slate

FORM
 Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Fence	0		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

**GATEHOUSE TO F.C.J. CONVENT
The Vacluse**

History and Description

Built in 1900 to the design of G.W. Vanheems. It is in a similar style to the Convent building and is the entry point to the Faithful Companions of Jesus complex.

It is a major element in The Vacluse streetscape. The recent iron and concrete brick fencing is hideous. The original fencing should be reinstated.

Statement of Significance

A rare 19th century device that is an integral party of The Vacluse's charm.

References

O'Connor, Sister Clare. Faithful Companions of Jesus Sisters in Australia, Melb. 1983.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS The Vaucluse

BUILDING TITLE F.C.J. Chapel **TYPE** If not residence

EXISTING DESIGNATION HBR **NER** **NTC** FN. 3507

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE **NEG. FILE** 105-16

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Brick **Roof** Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	
original roof form & finish <input checked="" type="checkbox"/>	
original chimneys <input type="checkbox"/>	



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Fence on Vaucluse	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

F.C.J. CHAPEL
The Vacluse

History and Description

Constructed in 1897 to the design of architect G.W. Vanheems for the Faithful Companions of Jesus Sisters.

It is simply designed with an apsidal end, the windows and cement embellishments match those on the adjacent convent and gatehouse.

It is the earliest remaining building constructed for the Faithful Companions on The Vacluse site.

Statement of Significance

Part of an unusually coherent group of Convent buildings that make up the character of the north side of The Vacluse.

References

Annals of Catholic Church in Victoria, 1897.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS The Vaucluse

BUILDING TITLE Eurolie

TYPE F.C.J. Convent
If not residence Infirmary

EXISTING DESIGNATION HBR **NER** **NTC** FN. 3507

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-13

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

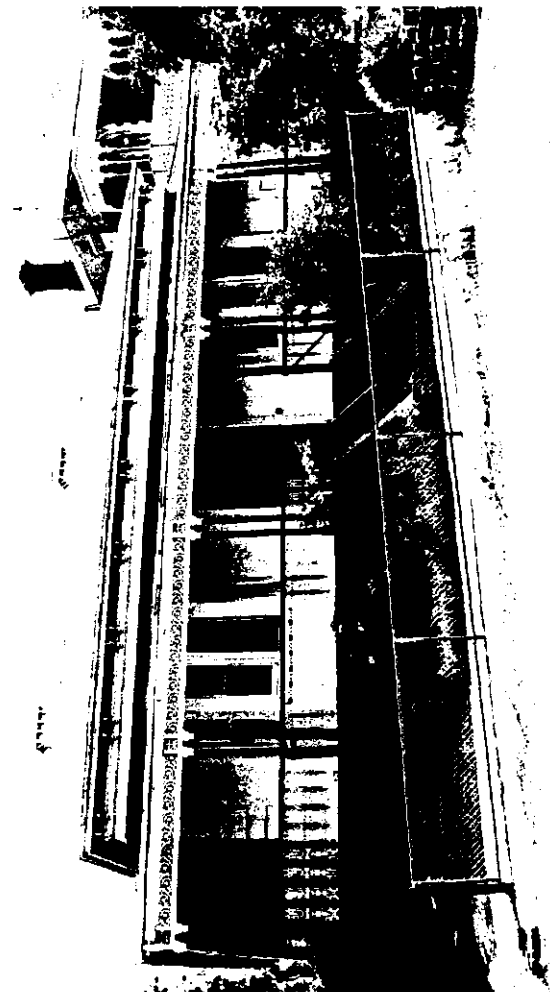
Walls Ruled Render Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	Timber Ver. Flr. <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Balustrade on Steps	0	Fence on Vaucluse	S

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

EUROLIE The Vaucluse

History and Description

'Eurolie' was built between 1874 and 1882 as a private residence on Lot 19 of an 1874 submission of Robert Woolcott's property, which covered the western half of The Vaucluse.

It is part of the 25 acre 1839 Crown grant of W.A. Yaldwyn who sold in 1840 to William Meek. Meek subdivided the Darlington Parade and Waltham Street areas the same year. By 1854 D.C. Campbell had acquired all of the subdivision south of the present Darlington Parade between Church Street and the start of Rowena Parade. Campbell lost the property to the Bank of New South Wales in 1861 when the bank foreclosed on his mortgage.

The bank abandoned Meek's subdivision, resubdivided the property and sold at intervals between 1862 and 1867. Woolcott was the biggest purchaser at these sales. The first known reference to The Vaucluse thoroughfare is in the Richmond Australian of 2nd August, 1862, where Robert Woolcott and the other property owners offered to '... open up a street from Rowena Parade to Church Street provided that the Richmond Council make sure it is kerbed and planted with trees.' The 1865 ratebooks make reference to the gates which once closed off the Rowena Parade entrance to The Vaucluse.

'Eurolie' is a stuccoed stone house. It is elegantly designed with stucco quoins and architraves, bay windows, and concave verandah roof supported by paired cast iron columns on the bluestone base wall. There are cellars underneath. Unfortunately the original garden has been lost.

In 1882 'Eurolie' and most of the northern side of The Vaucluse was purchased by the Convent of the Faithful Companions of Jesus. The house is now part of the Convent development, and the only remaining intact residence on the northern side of The Vaucluse.

Statement of Significance

An elegant, Italianate villa that is the only surviving intact residence on the northern side of the unique Vaucluse streetscape.

References

National Trust of Australia (Vic.), Report on The Vaucluse urban conservation area, 1982.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Vaucluse

BUILDING TITLE St. Ignatius' Primary School

TYPE
If not residence Catholic School

EXISTING DESIGNATION HBR NER NTC FN.2025

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 1.12.84 **NEG. FILE** 105-19

PERIOD

Early Victorian Edwardian
Victorian
Late Victorian

CONSTRUCTION DATE Source

MATERIALS

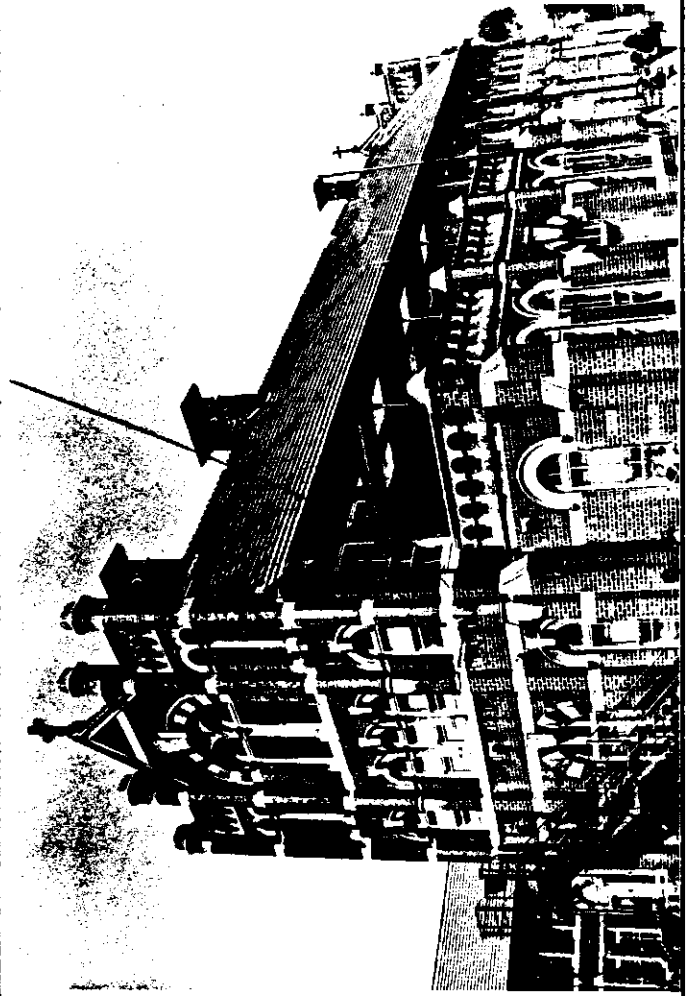
Walls Brick Roof T.C. Tile

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					External Stair	S
					Balcony Roof	R

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

ST. IGANTIUS' PRIMARY SCHOOL
Vaucluse

History and Description

Consists of two wings joined by a church hall, forming an H in plan. The south wing and the hall were built in 1898 to the design of architects McCrae, Toole and Blackett. The builder was G.W. Freeman. This was a boys primary school.

In 1912 a girls primary school was added as the north wing, the architect being G.W. Vanheems, the builder W.G. Cooper.

The school is now co-educational.

Statement of Significance

A good example of elaborate turn of the century school architecture in a Romanesque derived style.

References

Advocate, Sept. 10th 1898,
 May 18th 1912.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 10 The Vaucluse

BUILDING TITLE _____ **TYPE** _____
If not residence

EXISTING DESIGNATION HBR **NER** **NTC** FN.519

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 15.8.84 **NEG. FILE** 105-18
200-28

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE _____ **Source** _____

MATERIALS

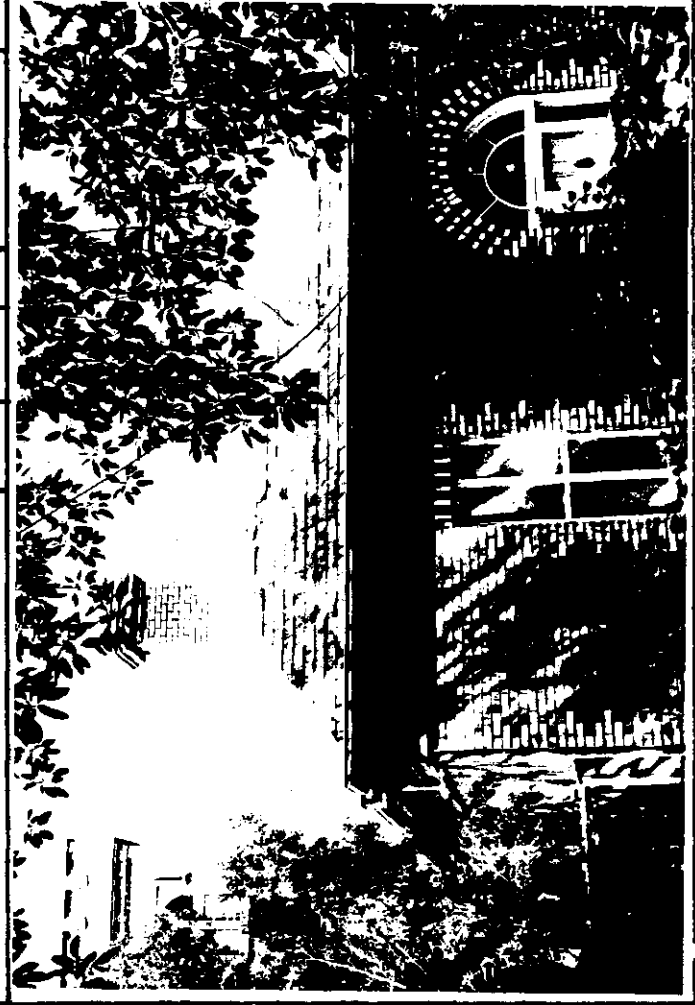
Walls Brick Roof Slate

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	Rear Gothic Tower <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Front Timber Fence	R

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

RESIDENCE
10 The Vaucluse

History and Description

Built c. 1877 for W.A. Brinsley Tobin, inspector of distilleries.

It is a restrained Victorian design in polychromatic brickwork. Extensions were added in 1884 and 1892. The main feature of the house is a gothic tower at the rear added c. 1892.

The front and side verandahs are missing. The original front fence remains behind the timber paling fence.

Statement of Significance

A Victorian house that is an important part of The Vaucluse streetscape, and which features a most unusual gothic tower.

References

National Trust of Australia (Vic.) F.N. 519.



BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 12-14 The Vaucluse

BUILDING TITLE Brinsley Place

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC FN. 3997

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 15.8.84 **NEG. FILE** 200-29

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE 1878 **Source** Parapet

MATERIALS

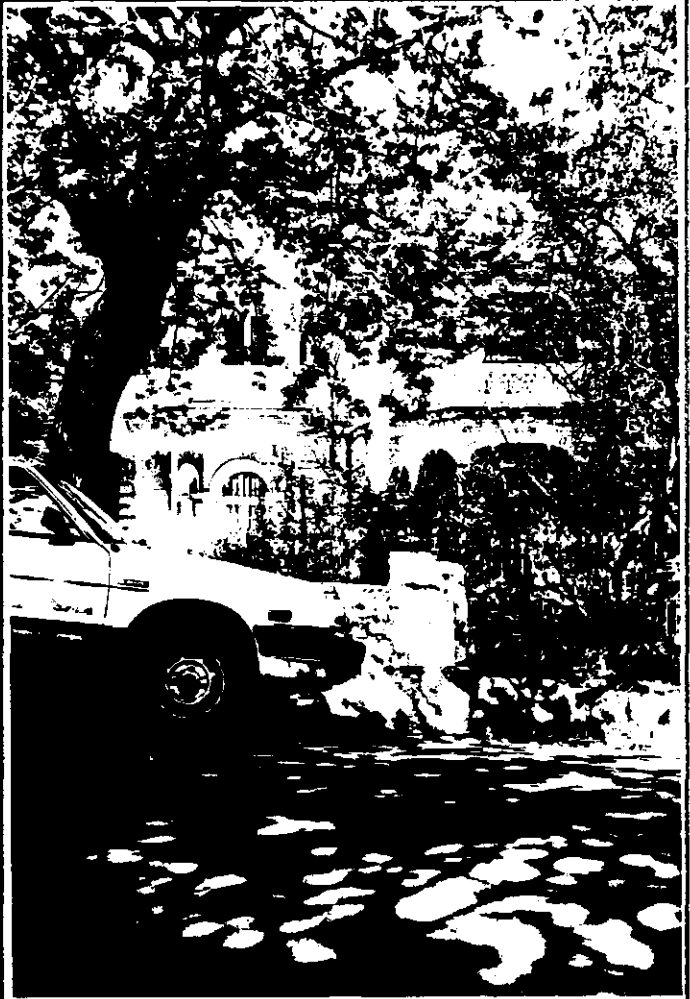
Walls Cement Render Roof

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input type="checkbox"/>	intact verandah decoration 12 <input checked="" type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence 12 <input checked="" type="checkbox"/>
original doors/windows 12 <input type="checkbox"/>	early garden 12 <input checked="" type="checkbox"/>
intact verandah structure <input checked="" type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	Tiled path <input checked="" type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
					Painted Render	RAM
12			French Doors	0		
12			Fence	0		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

BRINSLEY PLACE
12-14 The Vacluse

History and Description

'Brinsley Place' was erected in 1878, for W.A. Brinsley Tobin, inspector of distilleries.

'Brinsley Place' was constructed as a terrace of two brick buildings with a verandah extending around two sides articulating the central bay windows, and terminating at a projecting side wing. Rear brick outbuildings extended to the right of way. The social history of the building is rich. Professor Herbert Strong, professor of the discipline of comparative philosophy and logic at the University of Melbourne, was in residence at 'Brinsley Place,' as was Francis Head of Boyd and Head's 'Shamrock Hotel', Collingwood.

The buildings are well conceived and articulated. Arch headed windows, and fine cast iron verandah detailing are features of the building. Evidence of an early garden layout and cast iron fencing survives at number 12.

Statement of Significance

The two buildings forming 'Brinsley Place' are an important surviving component of The Vacluse residential precinct.

References

National Trust of Australia (Victoria) F.N. 3997.
M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 488-496 Victoria Street,

BUILDING TITLE Simpsons Gloves Pty. Ltd.

TYPE
If not residence Factory

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE 10.9.84 **NEG. FILE** 110-36
116-27

PERIOD

Early Victorian Edwardian
Victorian Inter War
Late Victorian

CONSTRUCTION DATE _____ **Source** _____

MATERIALS

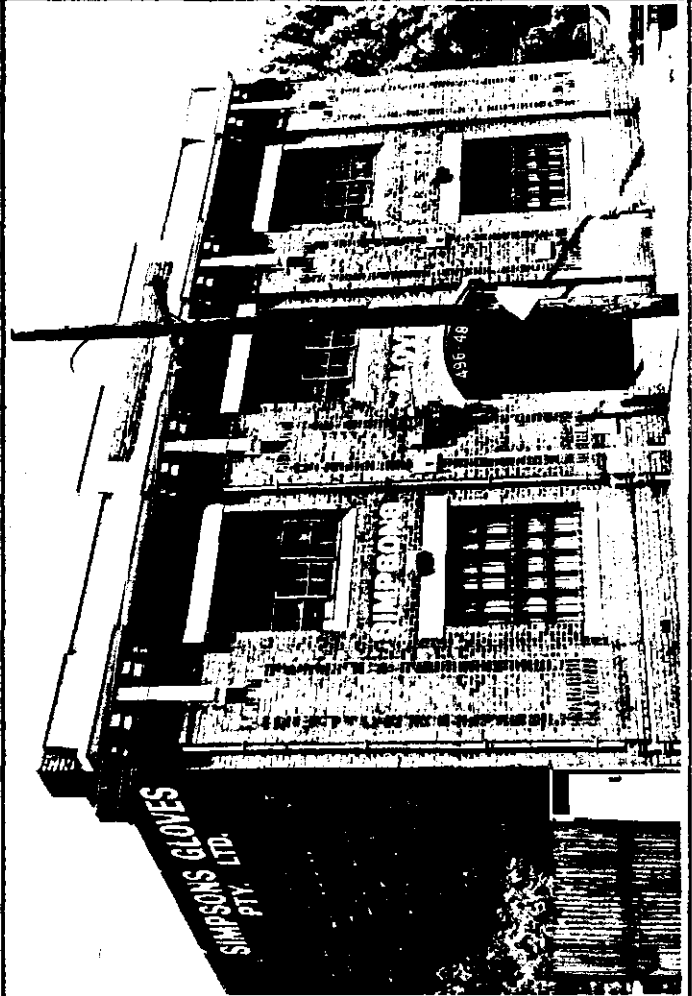
Walls Brick Roof _____

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input checked="" type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

SIMPSONS GLOVES PTY. LTD.
488-469 Victoria Street

History and Description

This brick industrial building was constructed in 1920 for A. Bamford Proprietary Limited, furniture manufacturers. This first occupancy continued until 1925, when the building was occupied by Beckford Furniture Proprietary Limited. By 1931 Simpsons Gloves Proprietary Limited were occupiers, and this association has continued to the present.

The building is a finely detailed and executed, early twentieth century industrial structure. Notable architectural features include brick soldier courses and windows with contrasting render detail. A recessed central entrance is articulated by a drip mould. The trabeated structural system is attractively represented by piers broken by a projecting cornice with supporting consoles and brackets. A simple parapet completes the building.

Statement of Significance

This industrial building has been associated with the manufacturing industry in Richmond since its construction in 1920. The building is prominently situated in Victoria Street at the eastern entrance to Richmond. It is a well designed example of an early twentieth century industrial building.

References

Sands and McDougall, Melbourne Directory 1915-1931.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 10 Waltham Place

BUILDING TITLE Former F. Bedggood Shoe Factory **TYPE** Pinacotheca Art Gallery
If not residence

EXISTING DESIGNATION HBR **NER** R/01/06 **NTC** FN.3254

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 26.7.84 **NEG. FILE** 28-20

PERIOD

Early Victorian Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE 1881 ext. 1890. Source

MATERIALS

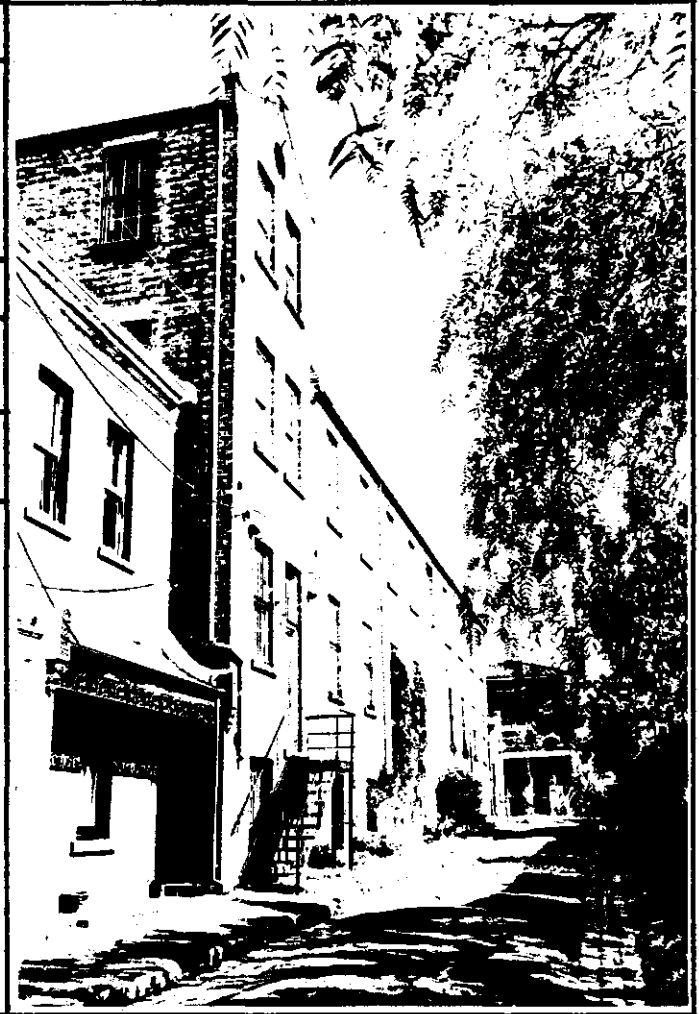
Walls Brick Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input type="checkbox"/>
original doors/windows upper <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input type="checkbox"/>
original parapet <input type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input checked="" type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Rear Addition	R		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER BEDGGOOD SHOE FACTORY
10 Waltham Place

History and Description

Three storey brick factory built to the design of architect J.A.B. Koch for prominent millionaire landholder Henry 'Money' Miller in 1881 and leased to local shoe manufacturer John Bedggood. The adjoining terrace houses were purportedly built to house the factory workers.

John Bedggood was a prominent local citizen for many years associated with the adjacent Wesleyan Methodist Church.

The factory was extended in 1890, and with the adjoining terrace houses and former Wesleyan Methodist Church contributes to the important character of Waltham Place.

Statement of Significance

An unpretentious industrial building characteristic of inner suburban Melbourne of the 1880's, closely related to the neighbouring terrace houses.

References

National Trust of Australia (Vic.) F.N. 3254.
National Estate Register citation.
Trust News Supplement, December 1980.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 12-24 Waltham Place

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

R/01/07NTC

FN. 3255

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 26.7.84

NEG. FILE 28-19

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Brick

Roof

FORM

Attached

Detached

SIGNIFICANT FEATURES

early paint colour scheme

eaves, roof or gable decoration

original unpainted wall finish

intact verandah decoration

ornamental wall detailing

early fence

original doors/windows

early garden

intact verandah structure

other prominent contrib. elevations

original parapet

original roof form & finish

original chimneys



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
12-16, 20, 22					Painted Brickwork	RAM
12-16, 20, 24					Verandah Fence Removal	S
18, 22	Verandah Fence					

O = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

TERRACE HOUSES
12-24 Waltham Place

History and Description

Seven two storey red brick terrace houses erected in 1890 as a speculative venture for Edward Miller, son of Henry 'Money' Miller, the prominent Victorian landowner and politician. The architect was H.M. Parlett. The site is adjacent to the former Bedggood Shoe Factory and part of a large parcel of land acquired by Henry Miller in 1845.

The houses, purportedly erected as accommodation for workers employed at the Bedggood Shoe Factory, are unusually austere and utilitarian structures enhanced by modest ornamentation. They have been partially defaced by painting of ground floor walls and by the removal of iron freizes and fences.

Statement of Significance

An austere group of terrace houses which, as in Britain, are the products of the ambiguous philanthropy of the industrial magnates who owned them.

References

National Trust of Australia (Vic.) F.N. 3255.
National Estate Register citation.
Argus, Tender Notices 14.9.1889.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 6 Waltham Street,

BUILDING TITLE The Elms

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 25.7.84 **NEG. FILE** 18-21

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE Source

MATERIALS

Walls Brick Roof T.C. Tile

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme	<input type="checkbox"/>	eaves, roof or gable decoration	<input checked="" type="checkbox"/>
original unpainted wall finish	<input checked="" type="checkbox"/>	intact verandah decoration	<input checked="" type="checkbox"/>
ornamental wall detailing	<input type="checkbox"/>	early fence	<input checked="" type="checkbox"/>
original doors/windows	<input checked="" type="checkbox"/>	early garden	<input type="checkbox"/>
intact verandah structure	<input checked="" type="checkbox"/>	other prominent contrib. elevations	<input type="checkbox"/>
original parapet	<input type="checkbox"/>	Tiled Path & Steps	<input checked="" type="checkbox"/>
original roof form & finish	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original chimneys	<input checked="" type="checkbox"/>		<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

THE ELMS
6 Waltham Street

History and Description

The west side of Waltham Street was mostly part of James Henty's 'Richmond Hill' estate. By 1914 'The Elms' was erected on a small subdivision from the estate and the first occupant was Charles Schult, who maintained his association with the building for several years.

'The Elms' is constructed of brick with a terracotta tile roof. The building is symmetrically composed with a recessed central entrance flanked by casement window groupings and a columned front verandah. The entrance is emphasised by a projecting gable. Attic gables at first floor level, eagle finials, and terracotta-crestings emphasize the strong roof line. Decorated chimneys complete the building.

The building maintains a high degree of integrity including cast iron fencing and central pathway.

Statement of Significance

'The Elms' is an important Edwardian period residence in Richmond, indicative of the second generation buildings in the Richmond Hill area. The building is prominently situated and is an important element in the residential precinct.

References

Melbourne Directory 1901-1920.
M.M.B.W. Plan of Richmond 1896.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS Cnr. Wellington & Blanche Streets

BUILDING TITLE Former Sutherland's Distillery

TYPE
If not residence

EXISTING DESIGNATION HBR NER NTC

GRADING A B C D E F

STREETScape 1 2 3 **CONSERVATION AREA**

SURVEY DATE 3.8.84 **NEG. FILE** 66-24

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

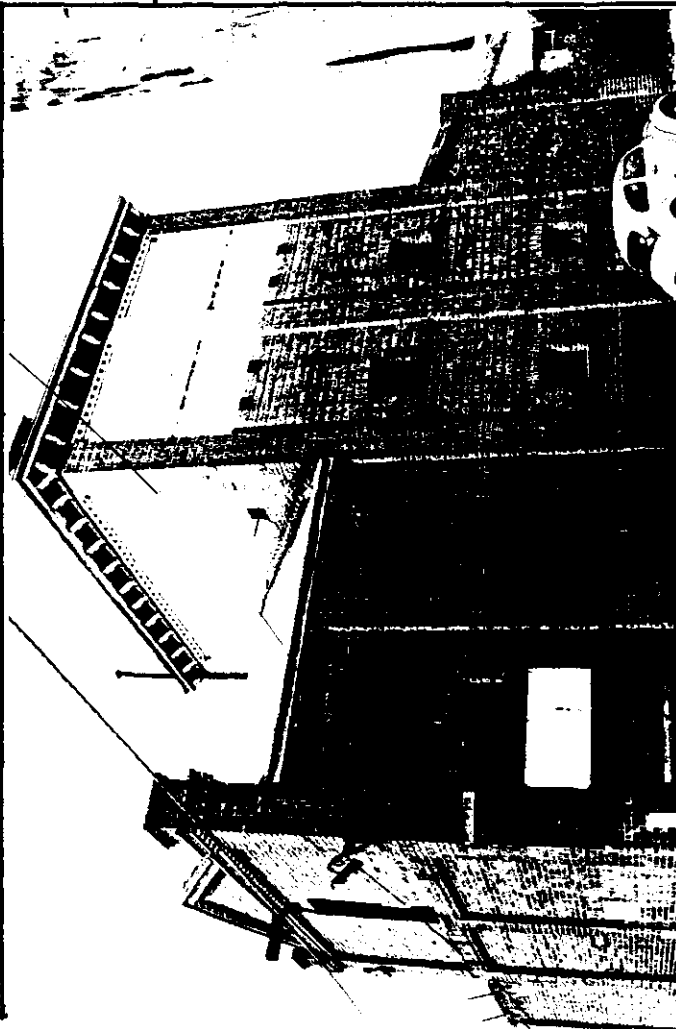
Walls Brick Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme <input type="checkbox"/>	eaves, roof or gable decoration <input checked="" type="checkbox"/>
original unpainted wall finish <input checked="" type="checkbox"/>	intact verandah decoration <input type="checkbox"/>
ornamental wall detailing <input checked="" type="checkbox"/>	early fence <input checked="" type="checkbox"/>
original doors/windows <input checked="" type="checkbox"/>	early garden <input type="checkbox"/>
intact verandah structure <input type="checkbox"/>	other prominent contrib. elevations <input checked="" type="checkbox"/>
original parapet <input type="checkbox"/>	<input type="checkbox"/>
original roof form & finish <input checked="" type="checkbox"/>	<input type="checkbox"/>
original chimneys <input type="checkbox"/>	<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Signs		RAM	

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

FORMER SUTHERLAND'S DISTILLERY
Cnr. Wellington and Blanche Streets

History and Description

This building was a distillery belonging to John Sutherland & Sons' vinegar factory, built c. 1889.

John Sutherland began his career in Australia as an employee of James Dickson of Richmond, a manufacturer of wines, spirits and vinegar. The wines and spirits business did not prosper as the tastes of drinkers tended towards rum. It is thought that Sutherland's influence led the business into the area of cordials and boot blacking (which incorporated vinegar in its manufacture).

In 1885 John Sutherland left Dickson's and established the John Sutherland Vinegar Factory on the south corner of Cremorne and Blanche Streets. He died in 1889 and his two sons expanded the business which continued until the late 1970's when it was taken over and closed by R.M. Gow & Co.

Beer was pumped from the distillery down Blanche Street to the Cremorne Street factory by means of a large underground pipe laid during the 1930's by the Richmond City Council (pure malt vinegar is made from beer).

The factory also manufactured pickles and cordials.

Statement of Significance

A nicely detailed late 19th century distillery of excellent integrity and forming an important termination to Wellington Street.

References

Notes by Bridget Everet from interview with Jack Sutherland, 1984.
Richmond Guardian, 28th February, 1885, p.2.
R.M. Gow Newsletter, Sept.-Nov., 1980.



John Sutherland
(R.M. Gow Newsletter, Sept.-Nov. 1980)

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ADVERTISEMENTS.

JOHN SUTHERLAND,
LATE OF JAMES DICKSON & CO.,
55 Cremorne St., Richmond,
MANUFACTURER OF
GENUINE MALT VINEGAR.

THE VINEGAR produced by JOHN SUTHERLAND is specially adapted for Pickling Purposes, being perfectly free from all deleterious acids, etc., at the same time being a *pure Vinegar*. Its brightness and freedom from sediment make it the

PREMIER TABLE VINEGAR.

Manufacturer of British Wines and Cordials.

Sutherland's advertisement in the Post Office Directory, 1886.



Sutherland's container labels, c. 1910.
(R.M. Gow Newsletter, Sept.-Nov., 1980)

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 5 Wellington Street

BUILDING TITLE Former Freemason's Tavern

TYPE
If not residence

EXISTING DESIGNATION HBR **NER** **NTC**

GRADING A B C D E F

STREETSCAPE 1 2 3 **CONSERVATION AREA**

SURVEY DATE 12.9.84 **NEG. FILE** 103-17

PERIOD

Early Victorian Edwardian
 Victorian
 Late Victorian

CONSTRUCTION DATE **Source**

MATERIALS

Walls Ruled Render Roof Iron

FORM

Attached Detached

SIGNIFICANT FEATURES

early paint colour scheme	<input type="checkbox"/>	eaves, roof or gable decoration	<input type="checkbox"/>
original unpainted wall finish	<input type="checkbox"/>	intact verandah decoration	<input type="checkbox"/>
ornamental wall detailing	<input checked="" type="checkbox"/>	early fence	<input type="checkbox"/>
original doors/windows	<input checked="" type="checkbox"/>	early garden	<input type="checkbox"/>
intact verandah structure	<input type="checkbox"/>	other prominent contrib. elevations	<input checked="" type="checkbox"/>
original parapet	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original roof form & finish	<input checked="" type="checkbox"/>		<input type="checkbox"/>
original chimneys	<input checked="" type="checkbox"/>		<input type="checkbox"/>



INTEGRITY RATING excellent good fair poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Window Grilles	R		
			Painted Walls	RAM		

O = reinstate original designs S = reinstate sympathetic alternative R = remove RAM = Remove by approved method

COMMENTS

**FORMER FREEMASON'S TAVERN
5 Wellington Street**

History and Description

A two storey parapeted brick dwelling of eight rooms built in 1965 for W.H. Martin.

Earlier in 1858, a timber house and bakery occupied the site, followed in 1860 by a brick house of three rooms and bakery.

In 1866 the building was operating as the 'Freemasons Tavern' with stables and outbuildings under lease to John Davies. It reverted to use as a dwelling in 1896.

The scale of proportion of the building is more characteristic of the early Victorian period, and its design is enhanced by the ruled stucco, string coursing and six panel front door.

Statement of Significance

An interesting example of an 1860's inner suburban dwelling.

References

Research from ratebooks, directories and the Richmond Australian by Bridget Everet.

BUILDING IDENTIFICATION FORM

RICHMOND CONSERVATION STUDY

BUILDING ADDRESS 15 Wellington Street

BUILDING TITLE

TYPE

If not residence

EXISTING DESIGNATION

HBR

NER

NTC

F.4264

GRADING

A

B

C

D

E

F

STREETSCAPE

1

2

3

CONSERVATION AREA

SURVEY DATE 8.8.84

NEG. FILE 66-20,21

PERIOD

Early Victorian

Edwardian

Victorian

Late Victorian

CONSTRUCTION DATE

Source

MATERIALS

Walls Ruled Render

Roof Slate

FORM

Attached

Detached

SIGNIFICANT FEATURES

Remains

early paint

colour scheme (walls)

original unpainted wall finish

ornamental wall detailing

original doors/windows

intact verandah structure

original parapet

original roof form & finish

original chimneys

eaves, roof or gable decoration

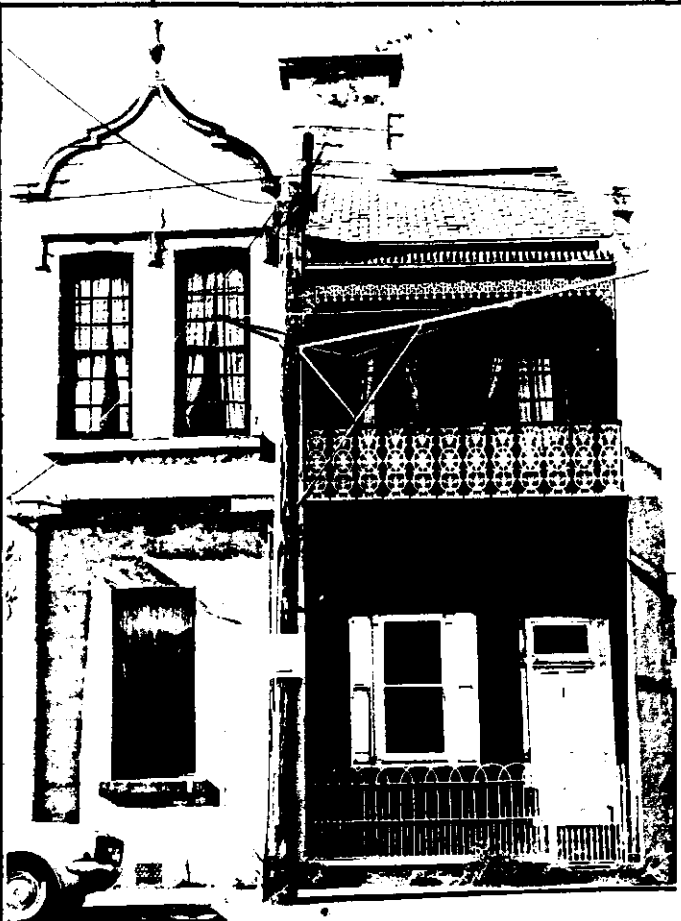
intact verandah decoration

early fence

early garden

other prominent contrib. elevations

Ver. Flr. Tiles



INTEGRITY RATING

excellent

good

fair

poor

ALTERATIONS & SPECIFIC GUIDELINES

No.	Sympathetic	S.G.	Inappropriate	S.G.	Extremely Inappropriate	S.G.
			Balcony Beam Detail	0	Side Entry Infill	R
			Balcony Doors	0		

0 = reinstate original designs

S = reinstate sympathetic alternative

R = remove

RAM = Remove by approved method

COMMENTS

RESIDENCE
15 Wellington Street

History and Description

Built in 1881 for Patrick Quinlan, this double fronted terrace house is notable for its use of Flemish gables, a feature which is most unusual for this type of house.

The structure indicates that there may have been a shopfront in the projecting room at ground floor level. An earlier photograph shows that the first floor window sashes are recent, and that there were originally French doors onto the first floor balcony.

The iron fence is the only one of its type remaining in Richmond.

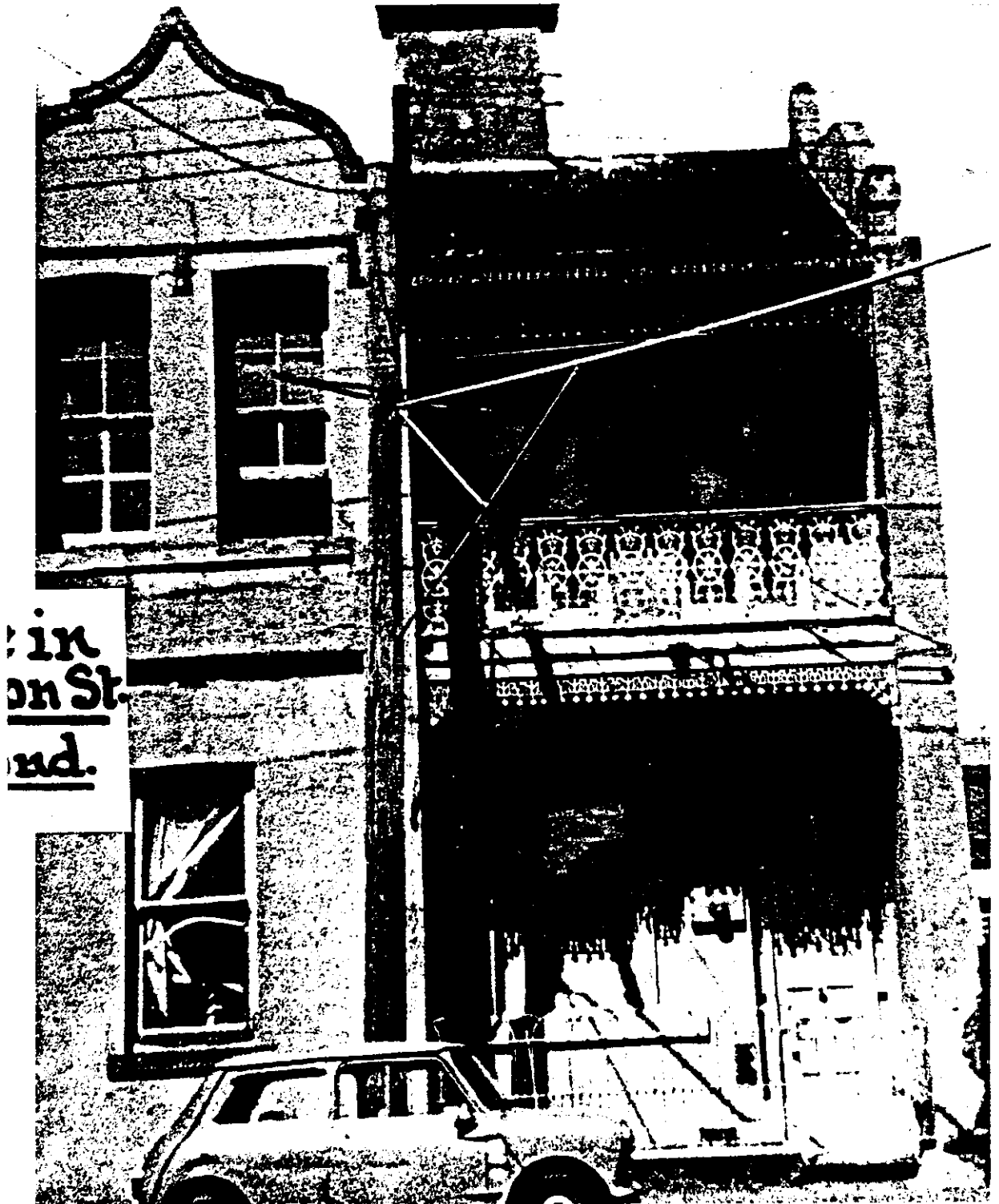
Statement of Significance

A late Victorian terrace house distinguished by its bold Flemish gables.

References

Richmond Historical Society.
Richmond Council ratebooks.





15 Wellington Street, c. 1970 showing the earlier windows and French doors.
(Richmond Historical Society.)